



TOWN OF CAREFREE
NOTICE of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD

WHEN: MONDAY, DECEMBER 14, 2020

WHERE: ZOOM WEB*

TIME: 5:15 p.m.

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the members of the Development Review Board and to the public that the Development Review Board will hold a public meeting on **MONDAY, DECEMBER 14, 2020** at 5:15 p.m.

Members of the Planning and Zoning Commission are participating by technological means or methods pursuant to A.R.S. §38-431(4).

THE AGENDA FOR THE MEETING IS AS FOLLOWS:

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1. APPROVAL of DRB MEETING MINUTES for the meeting of NOVEMBER 16, 2020.

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for approval of a proposed MOUNTAINSIDE DEVELOPMENT. Public comments will be taken.

CASE #: 20-03-MS, Kunka Residence

APPLICANT: David Timmons, David Timmons Architectural Design Studio, LLC
2830 E. Tracy Lane
Phoenix AZ, 85032

CASE LOCATION: 38174 Tranquil Way, Lot 9 – Tranquil Place
APN: 216-23-063

ZONING: R1-35 Single Family Residential
35,000 square feet minimum lot size

REQUEST: APPROVAL of a development plan for a single-family residence in the Mountainside Zoning District Overlay

ITEM #3 ANNOUNCEMENTS.

ITEM #4 ADJOURNMENT.

DEVELOPMENT REVIEW BOARD

Samantha Gesell

Planning and Development Clerk
POSTED 12/09/20

NOTE: *Due to the risks to public health caused by the possible spread of the COVID-19 virus at public gatherings, the Town of Carefree has determined that public meetings will be indefinitely held through technological means. Meetings will be also open to the public through technological means. In reliance on, and compliance with, the March 13, 2020 Opinion issued by Attorney General Mark Brnovich, the Town of Carefree Planning and Zoning Commission provides this special advance notice of the technological means through which public meetings may be accessed. While this special notice is in effect, public comment at meetings will only be accepted through written submissions, which may or may not be read aloud during meetings.

On your computer:

Join Zoom Meeting: <https://zoom.us>

Meeting ID: 986 2613 2975

Dial by phone: +1 253 215 8782 US (Tacoma)



FOR SPECIAL ACCOMMODATIONS

Please contact the Planning Clerk, 8 Sundial Circle (PO Box 740), Carefree, AZ 85377; (480) 488-3686, at least three working days prior to the meeting if you require special accommodations due to a disability.



TOWN OF CAREFREE
NOTICE of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD
MONDAY, NOVEMBER 16, 2020
VIA ZOOM WEB
TIME: 5:00 p.m.

BOARD MEMBERS PRESENT:

Chairman Al Mascha
Vice Chairman Tom Cross
Board Member Dan Davee
Board Member Lyn Hitchon
Board Member Scott Sperl
Board Member Dick Tatlow

BOARD MEMBERS ABSENT:

Board Member Heather Burgett

STAFF PRESENT:

Planning Director – Stacey-Bridge Denzak
Town Engineer – Greg Crossman
Planning Clerk - Samantha Gesell

Members of the Planning and Zoning Commission participated by technological means or methods pursuant to A.R.S. §38-431(4).

Chairman Mascha called the meeting to order and led the pledge of allegiance at 5:01 p.m.

ITEM 1. APPROVAL of DRB MEETING MINUTES for the meeting of OCTOBER 14, 2019.

Board Member Cross **MOVED** to **APPROVE** the Development Review Board meeting minutes dated **OCTOBER 14, 2019** as submitted. **SECONDED** by Board Member Davee, **PASSED** unanimously.

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for approval of a proposed MOUNTAINSIDE DEVELOPMENT.

CASE #: 20-07-MS
APPLICANT: Applicant
Randy Altman
8709 E.Villa Cassandra Dr.
Scottsdale, AZ 85266

CASE LOCATION: 6118 Little Hope Place, Lot 92, Sentinel Rock Estates Unit II
APN: 211-28-192

ZONING: R1-35 Single Family Residential
35,000 square feet minimum lot size

REQUEST: **APPROVAL** of a development plan for a single-family residence in the Mountainside Zoning District Overlay. The Mountainside overlay applies to properties in Carefree which contain a 20% slope or greater over a 50-foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive area of a site; and (2) the proposed development is strategically integrated into the hillside. A supplemental request for a wall height waiver is included under this application.

Planning Director Bridge-Denzak introduced the proposed application, via PowerPoint.

Director Bridge-Denzak presented details of the subject property, located on Little Hope Place in Carefree Sentinel Rock Estates subdivision. Adding, the property is in Zoning District R1-35 Single Family Residential (R1-35, minimum 35,000 square foot lot size). Access to the development is from Little Hope Place.

Director Bridge-Denzak provided details of the site, noting that the site essentially slopes from east to west, with 2/3 of the lot containing slopes greater than 20% gradient. She further explained the site is bisected by a wash with a flow rate that exceeds 50 cubic feet per second (121 cfs) centered within a 20-foot wide drainage easement as shown on the Final Plat. By direction of the Town Engineer, the easement area was expanded to accommodate a shift in the wash. Ms. Bridge-Denzak assured, the project does not disturb the wash and is located outside of the drainage easement.

Protected plants will be salvaged and relocated on the property at areas of disturbance.

Director Bridge-Denzak provided a summary of the proposed residence:

- A total of 5,534 square feet under roof (livable and non-livable areas).
- The main entrance faces Little Hope (south) with its rear yard facing north adjacent to the wash.

The structure is a 3-bedroom, 3-1/2 bathroom single-level home with 3-car garage and rear yard amenities. It is a total livable area of 3,316 square feet. It is a territorial style approach to architecture with a flat roof, small windows, and a stylized main entry. The structure and adjacent retaining and site walls are painted stucco in a desert tan color. Hardscape materials include a concrete unit paver driveway and rear patio. Director Bridge-Denzak pointed out certain foundation walls located within the erosion setback zone requires scour protection.

Director Bridge-Denzak added, all utility lines, including dry utilities, will be located underground either below or adjacent to the new driveway in graded areas.

Director Bridge-Denzak discussed the request for the tall retaining walls. At its greatest cut, the retaining wall at the east side of the property will be 11 feet tall. Staff suggested the applicant consider a single, tall retaining wall instead of terraced walls in order to minimize disturbance in the east setback.

The proposed project complies with 15.8% lot coverage and approximately 33.3% disturbed area, which includes the building, driveway, and rear yard.

Director Bridge-Denzak explained the building complies with the 40-foot maximum cumulative height for Mountainside developments with a measurement of 26'9" and the project meets the 24-foot maximum building height as required; the main residence from garage level to highest parapet is 19'10".

The applicant has met all other development standards with what is required by the Zoning Ordinance such as setbacks and cut: fill. The easement purpose has been expanded by direction of the Town Engineer due to a shift in the wash location that occurred over time. The site is designed for the 100-year 2-hour storm event. The proposed finished floor elevation is safe from inundation by the 100-year peak rainfall event as shown on the proposed plans. Furthermore, the expanded drainage easement benefits the neighborhood to ensure there are no impediments to drainage as intended by the Final Plat.

Director Bridge-Denzak explained that refined Grading and Drainage Plans shall be submitted under a future building permit. The Town Engineer has reviewed the conceptual plans and drainage report as part of this Mountainside case.

Ms. Bridge-Denzak noted that the Citizen Participation requirements have been met. The notification was sent on August 1, 2020. The applicant received 2 emails from nearby residents who subsequently reviewed the plans and had no objections. No other responses were received by the Town or the applicant.

Board Member Sperl expressed concern pertaining to Graham Engineering notes on the proposed site plan related to the retaining walls and soil erosion. Town Engineer Greg Crossman explained how the structure is protected from lateral migration and erosion. Applicant Randy Altman provided details of the scour walls and is sensitive to the expressed considerations. Mr. Altman accepted full liability.

Board Member Tatlow questioned the height of the 11' retaining wall encompassing the back patio and pool area, asking if the wall could step down and reduce the height to 7'. Director Bridge-Denzak addressed Mr. Tatlow's question, explaining that the walls around the pool are 5' and the 11' retaining wall is at the front of the property.

Chairman Mascha asked for questions from the public. There were no questions.

Chairman Mascha called for a motion on case **20-07-MS**.

Board Member Hitchon **MOVED to APPROVE** the development plan for a single-family residence in the Mountainside Zoning District Overlay with the following conditions:

1. All plans submitted to the Building Department for a building permit shall conform to the development plans and reports submitted on November 3, 2020 associated with this application and attached to this report including the conditions approved by the Development Review Board on November 16, 2020.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval unless an extension is requested by the applicant and/or owner and granted by the Zoning Administrator.
3. All utility lines shall be located underground and within the driveway graded area or other disturbed areas as shown on the grading plans.
4. Any disturbance to the wash that may occur during construction shall be restored to its original grade and ground plane finish to ensure all drainage characteristics are maintained.
5. The east driveway retaining wall shall not exceed a height of 11 feet as approved by the Development Review Board. All other retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
6. Driveway grading shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 *Site Disturbance and Driveways* Subsections (4) and (5) of the Carefree Zoning Ordinance.
7. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
8. Landscaping shall meet all provisions of Article IX, Section 9.13.

Vice Chairman Cross **SECONDED** the motion, **PASSED** unanimously.

ITEM #3 ANNOUNCEMENTS.

There were no announcements.

ITEM #4 ADJOURNMENT.

There being no additional business, Board Member Hitchon **MOVED** to **ADJOURN**. **SECONDED** by Board Member Tatlow, **PASSED** unanimously. The meeting was **ADJOURNED** by unanimous consent at 5:30 p.m.

DEVELOPMENT REVIEW BOARD

Al Mascha, Chairman

ATTEST:

Samantha Gesell, Planning Clerk

DRAFT

DEVELOPMENT REVIEW BOARD - STAFF REPORT



MEETING DATE: December 14, 2020

Item No. 2

SUBJECT Mountainside Single-Family Residence, DRB Case #20-03-MS

REQUEST Pursuant to Article X of the Zoning Ordinance, this is a request for approval of a single-family residence in a Mountainside Zoning District Overlay. The Mountainside overlay applies to properties in Carefree which contain a 20 percent slope or greater over a 50 foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive areas of a site; and (2) the proposed development is strategically integrated into the hillside.

Key Items for Consideration:

- The property is located at 38174 Tranquil Way, Lot 9 Tranquil Place subdivision, Carefree, Maricopa County; Tax Parcel #216-23-063.
- The parcel is approximately 38,326 square feet in size and zoned R1-35 Single Family Residential (R1-35).
- The proposed home is a total livable area of 3,911 SF / total under roof of 6,459 SF including a 3-car garage, covered patios, pool and spa, sunken patio terraces, retaining walls, and landscaping.
- Access to the site is from Tranquil Way.
- The home is designed as a series of interconnected buildings around a central courtyard including a detached garage/casita.
- There are environmentally sensitive features on the site including steep slopes, boulders, and protected plant species.
- The site meets the cut-to-fill ratio requirement of cut exceeding fill.
- The proposed northeast retaining wall at the trash enclosure is 13'6" maximum, more than the allowable maximum height of 7 feet and requires a height waiver.
- Landscaping is proposed to revegetate disturbed areas, transition from the structures to the natural desert, and enhance and screen the retaining walls.
- The lot will be served by Cave Creek for water and a private septic system.
- The application complies with all Mountainside regulations with the exception of the height waiver.
- Citizen Participation requirements have been met (See Exhibit B).

**APPLICANT/
OWNER**

Applicant/Architect
Mr. David Timmons
David Timmons Architectural Design St
2830 East Tracy Lane, #4
Phoenix, AZ 85032

Owner
Mr. and Mrs. Walt and Kathy Kunka
36601 Mule Train Road, Unit 5
Carefree, AZ 85377

**LOCATION/
CONTEXT**

The subject property is located at 38174 Tranquil Way (Tranquil Place subdivision). The Carefree General Plan designates the land of the subject lot as Low Density Residential (approximately 1-acre minimum lot size).

The property is in Zoning District R1-35 Single Family Residential (R1-35, minimum 35,000 square foot lot size) as well as lots adjacent in to the subject site. The existing adjacent land uses are as follows:

North: 2 Single-family residences, Crossings Carefree Subdivision

South: 1 Single-family residence, Tranquil Place Subdivision

West: 2 Vacant Lots, Ari biome Subdivision

East: 1 Single-family residence, Tranquil Place Subdivision

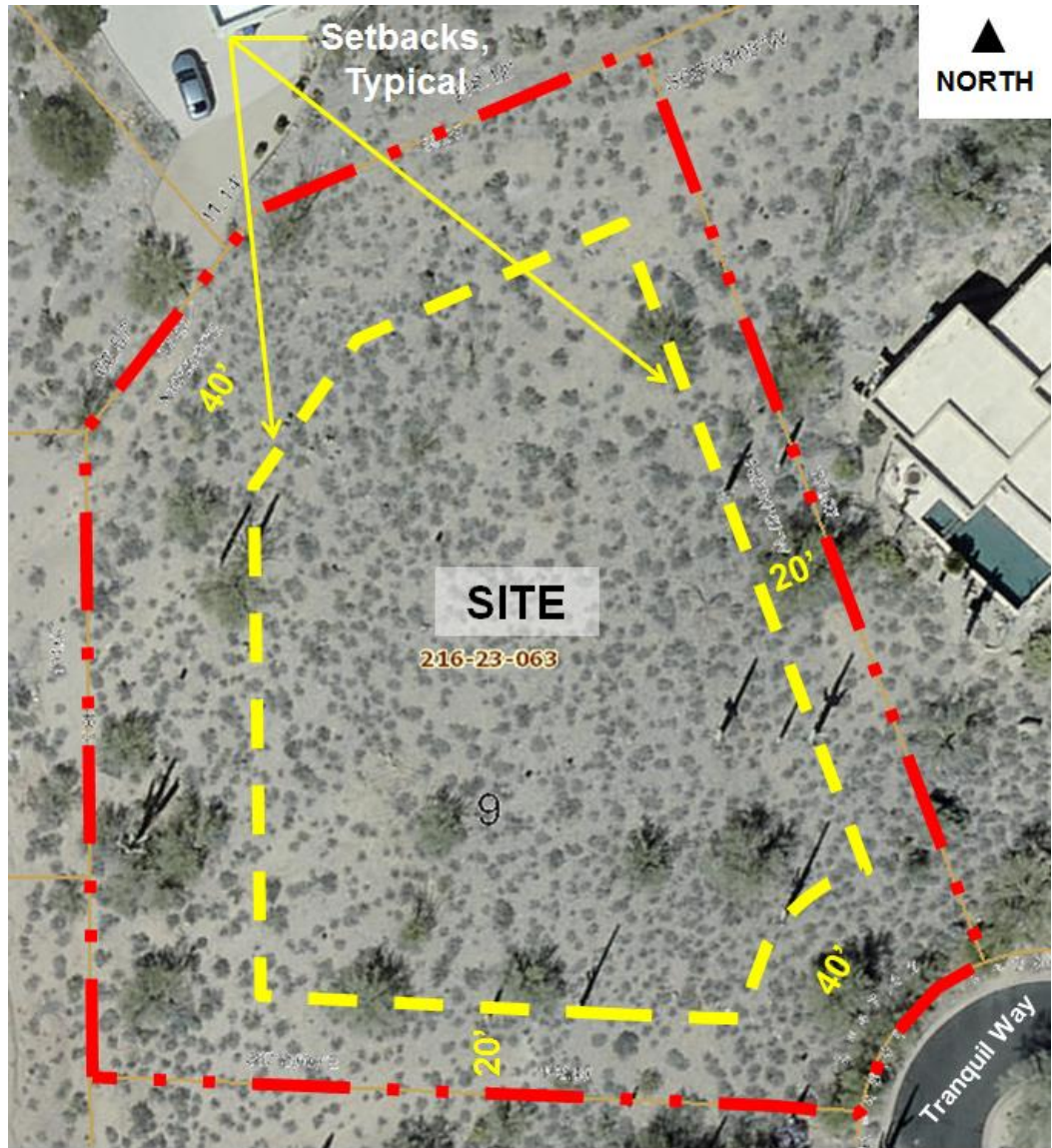
Access to the property is by Tranquil Way, a private roadway.

Aerial Context Map: County Tax Parcels #216-23-063 38174 Tranquil Way



Source: Maricopa County Assessor GIS Aerial Map, 2020

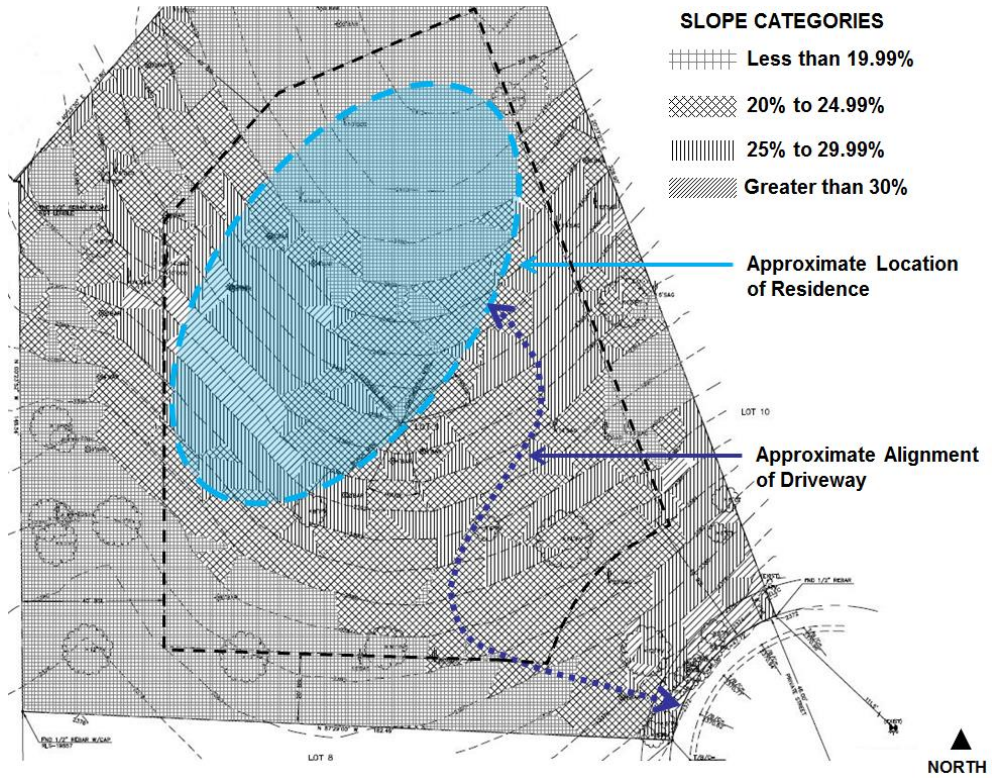
Aerial Detail Map:



Source: Maricopa County Assessor GIS Aerial Map, 2020

SENSITIVE FEATURES

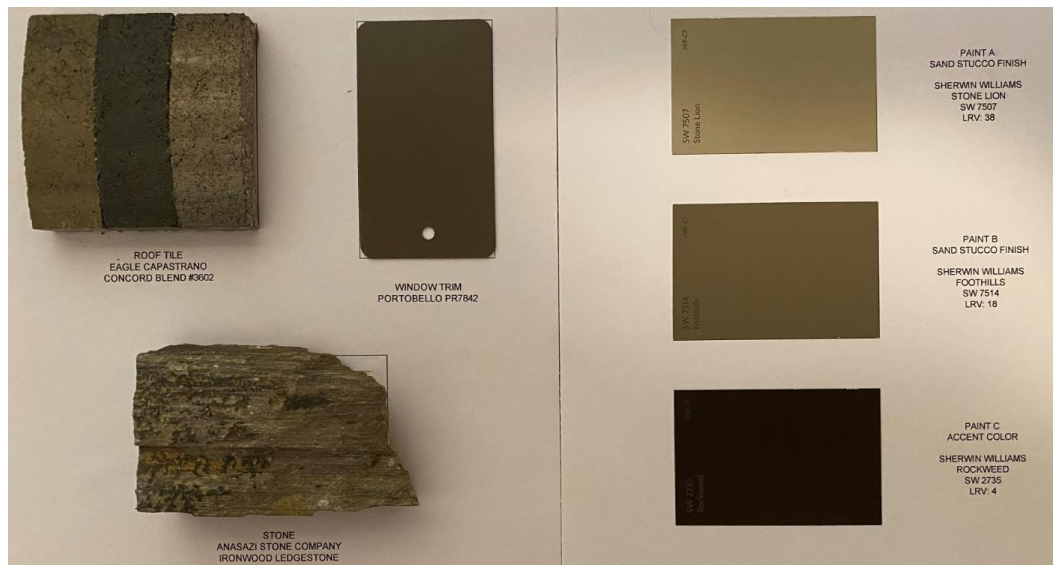
The site is vacant and essentially slopes from north to south. Topography on site varies with more than 1/2 of the lot containing slopes greater than a 20% gradient (see Slope Analysis). There are no sensitive features such as washes, ridgelines, or boulder outcroppings. However, other features found on the subject property are protected plants, including Saguaros, Barrels, Ocotillos, and Palo Verdes. Protected plants, particularly those found on the landscape salvage assessment, will be relocated at the building permit and construction stages as shown on the proposed landscape plan.



DEVELOPMENT PLAN

Summary

The proposed residence is a 3-bedroom, 3-1/2 bathroom single-level home with 3-car garage and rear yard amenities all taking advantage of views to the south and west. The architecture is a blend of Spanish and Italian design influences built into the hillside. Stucco finishes with stone accents are the primary building materials for the residence.



Varied and detailed elevations with a combination of color, texture, and articulation provide a quality, custom home the Town of Carefree expects. Also, it has been approved by the Tranquil Place Homeowners Association (HOA).



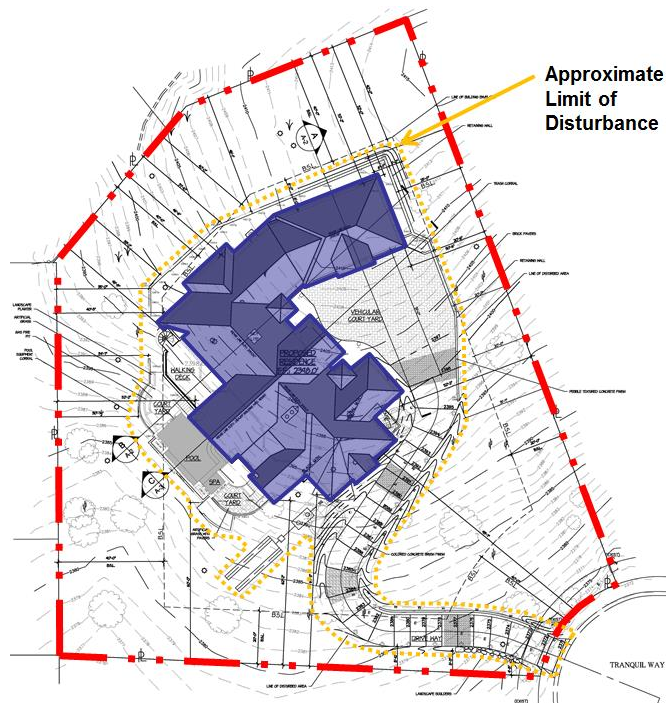


Lot coverage and Disturbed Area

Maximum 20% lot coverage and maximum 60% disturbed area are allowed in the R1-35 Zoning District. The proposed project complies with 16.9% lot coverage (6,459 SF under a solid roof) and 43% disturbed area (16,661 SF total disturbance), which includes the driveway and septic area.

Building Setbacks

Typical building setbacks in R1-35 Zoning are 40 feet front/rear and 20 feet on the sides. The building is within the developable area of the property and its location approved by the associated HOA. Additional structures such as pools, spas, and associated equipment shall also be located completely outside of these building setbacks; this will be a condition of approval of this Mountainside case.



Driveway

The driveway slope from street level up to the residence is approximately a 14.5% gradient. The driveway will be paved with colored concrete including 10-foot wide textured (pebbled) bands at 40-foot intervals. Guest parking is available at the vehicular courtyard near the home. Rural Metro has reviewed and approved the driveway design. Retaining walls of painted stucco are necessary along the initial ascent and then at the vehicular courtyard in order to minimize disturbance of natural areas. The boulder embankment along the south side of the drive close to the entry is in place to help maintain erosion (See Site Plan).

Landscaping

Landscaping is important in Mountainside properties, in particular to salvage protected plants, revegetate disturbed areas, screen terraced retaining walls, and transition the development from the interior “oasis” courtyard areas to more natural desert areas further from the residence. A preliminary salvage inventory and a landscape plan were submitted in association with this application. The salvage plan indicates several Saguaros, Ocotillos, Palo Verdes, and Barrel Cacti to be salvaged. A further assessment during the building permit phase will be performed to ensure all salvageable material is accounted for and included on the final landscape plan. Also, the plan will be updated to reflect the current grading plan at the time of the building permit submittal.



Building Height

The building complies with the 40-foot maximum cumulative height for Mountainside developments with a measurement of approximately 28'1". The project also complies with the 24-foot maximum building height as required by the Zoning Ordinance; the overall height is 17' from design grade from finished floor to highest roofline measurement. It is below the required 24 feet maximum above existing grade.

Cut:Fill Ratio

The quantity of cut exceeds the quantity of fill by approximately 903 cubic yards. The total quantity of cut equals approximately 1,080 cubic yards; the quantity of fill equals approximately 177 square yards.

Grading & Drainage

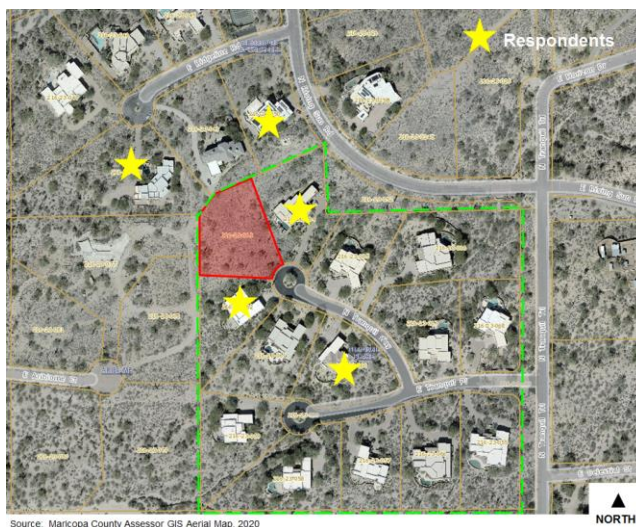
The project is designed to facilitate stormwater flows away from the structures and central courtyard/patio spaces. Retaining walls are used to meet existing grade thereby reducing additional disturbance. Most walls are below 7 feet tall; however, in certain instances, this height is more. The tallest wall can be found at the northeast corner of the vehicular courtyard at the trash enclosure with a proposed height of 13.5 feet. It tapers down along the vehicular courtyard and entry drive to a height of 2'3". This height is due to a required cut in the site to allow for the proposed finished floor elevation. This finished floor grade provides a lower profile of the home from the neighboring property. This wall is not a building wall, but will be landscaped in the area in between the garage and the retaining wall to help buffer that side of the structure. The DRB can waive the 7-foot maximum wall height and separated building wall at their discretion. No washes have been identified on this site.

Site Utilities

The subject property will be serviced by Cave Creek Water for water and an onsite septic system for sewer. Disturbance is limited to 5 feet on either side of the septic facilities. All utility lines other than septic including dry utilities will be located underground near or below the new driveway.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying surrounding property owners and HOAs within a 500 foot radius of the pending application. The letter was mailed on August 5, 2020. The applicant corresponded with 3 neighbors asking questions related to fencing, driveway and garage locations, and visibility of the structure. The applicant responded; see Citizen Participation Report.



Staff communicated with two other parties. The property owner to the south was concerned about the proximity of the driveway to her property. Staff replied that driveways may be located in setbacks; this one is constrained by an existing water meter. Originally a wall was proposed adjacent to the south side of access way. The applicant replaced it with landscape boulders to secure the slope. The property owner's representative to the east was concerned about the structure's visibility from his client's outdoor space. Staff provided a comparison of grading plans (one for the subject site, the other for the neighbor's property from the Town's archives) and tried to compare finished floor elevations to understand the implications. While the structure will be in the neighbor's line of sight, staff believes it will not obstruct long range views.

DRB

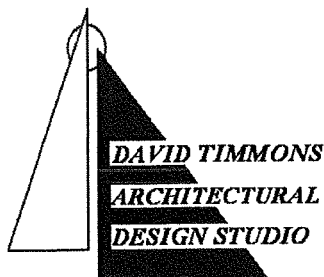
If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- ❖ Exhibit A. Conditions for Approval
- ❖ Exhibit B. Citizen Participation Report
- ❖ Exhibit C. Plans and Elevations
 - Slope Analysis
 - Site Plan
 - Grading and Drainage Plans
 - Cumulative Height Diagram
 - Floor Plan
 - Color Elevations
 - Perspectives
 - Material Selections
 - Landscape Plan

EXHIBIT "A"
CONDITIONS FOR APPROVAL
DRB Case #20-03-MS
38147 Tranquil Way
Tax Parcel #216-23-063

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application date stamped November 25, 2020, attached to this report, and per conditions approved by the Development Review Board on December 14, 2020.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. The proposed pool, spa, and associated equipment shall be located outside of the building setbacks for approval of a building permit.
4. The north retaining wall adjacent to the driveway and trash enclosure shall not exceed a height of 13'6" as approved by the Development Review Board. All other retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
5. Any additional grading beyond the north retaining wall shall require landscape boulders similar to the driveway entrance to minimize erosion.
6. Disturbed areas for the septic system installation shall be revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. Existing grade shall be restored also. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.
7. All exterior lighting shall meet the requirements of Section 9.12 of the Zoning Ordinance. Also, exterior building fixtures shall be cut-offs and shielded.



2830 E. Tracy Lane, Suite 4
Phoenix, Arizona 85032
Phone: (480) 596-3408
Email: TimmonsStudio@cox.net
Web: timmonsdesignstudio.com

CITIZEN PARTICIPATION REPORT

DATE: September 23rd, 2020

TO: Stacey Bridge-Denzak
Planning Director
Town of Carefree Planning and Development

RE: Walt and Kathy Kunka Property
Lot 9 Tranquil Place
38174 N. Tranquil Way
APN: 216-23-063
Mountainside Review Case: #20-03-MS

This Citizen Participation Report is a summary of our outreach efforts to notify specific neighborhood citizens for the request to develop a single-family residence on the property referenced above.

We received six letters that were sent back to our office with the stamped notice of: "Return to Sender, Not Deliverable, Unable to Forward, and Unclaimed." Returned Names/Addresses are notated in 'red'. Please see enclosed mailing list.

Three neighbors contacted us with questions and/or clarification. The following is a summary of questions and responses:

- 1) **Ali Shambayati:** Mr. Shambayati asked for clarification regarding whether a fence line or other hard structures would be placed on the property line – between their property and proposed Kunka Project.
Architectural Response: Provided Mr. Shambayati a marked-up site plan and north elevation of proposed building for visual explanation, and context. Email communications regarding design parameters, owner requirements, and clarification that there will not be a placement of a wire fence on the shared property line.
- 2) **Philip Dimatteo:** Mr. Dimatteo asked if there was an option for moving the proposed driveway and flipping the garage.
Architectural Response: Clarified with Mr. Diamatteo via Phone discussion and email clarification. Clarified Owner's design requirements: single story, level finished floor, and surrounding views. Moving the driveway would negatively affect vehicular circulation.
- 3) **William Knight:** Mr. Knight asked what portion of the proposed home would be visible from their home.
Architectural Response: Provided Site Plan with Aerial Overlay for visual context.

In summary, there were no negative responses to our design as presented.

If you have any questions or concerns, please feel free to contact us at 480-596-3408. Thank you.

Regards,

David Timmons, P.A.

Enclosure: (6) Returned Envelopes; (1) Mailing List of Notified Citizens

CARNICELLI TRUST
PO BOX 2242
CAREFREE AZ 85377

LUNAU KEVIN
R3 1130 PAUMA HEIGHTS RD
VALLEY CENTER CA 92082

RANDY T KOHLTFARBER
20106 NE 14TH ST
CAMAS WA 98607

SHURTLEFF DAVID PAUL
PO BOX 3001
CAREFREE AZ 85377

STRIEGEL JOHN E/CLARY MARYANN
1508 42ND ST
SACRAMENTO CA 95819

ELLIS HAYNE III
PO BOX 2265
CAREFREE AZ 85377

DERMINIO DAVID E/MARIA R
PO BOX 2629
CAREFREE AZ 85377

DIDIER JAMES N/KATHY M
2421 CHANCERY LN
RAPID CITY SD 57702

ANDERSON DAVID L/SUSAN H TR
P O BOX 2881
CAREFREE AZ 85377

KNIGHT WILLIAM C/LEEDNA M
PO BOX 5965
CAREFREE AZ 85377

SHAMBAYATI LIVING TRUST
PO BOX 2327
CAREFREE AZ 85377

REED ARTHUR L TR/REED LYDIA K TR
PO BOX 5504
CAREFREE AZ 85377

CROSSINGS AT CAREFREE HOA
PO BOX 2070
CAREFREE AZ 85377

CORNELLA FAMILY TRUST
PO BOX 808
CAREFREE AZ 85377

HARPER DOUGLAS P/THEODORA
PO BOX 9373
BOISE ID 83707

DENNIS B MULLEN
PO BOX 2365
CAREFREE AZ 85377

GREEN MICHAEL
P O BOX 5348
CAREFREE AZ 85377

DIMATTEO PHILIP S/MARIANN TR
PO BOX 2983
CAREFREE AZ 85377

MOE DANIEL R TR/JACQUELYN TR
42124 N CHARBRAY DR
SCOTTSDALE AZ 85262

CHEEK THOMAS R/JACQUELINE R
38065 N CAVE CREEK RD UNIT 43
CAVE CREEK AZ 85331

KUNKA WALTER A/KATHLEEN E
PO BOX 705
CAREFREE AZ 85377

LEDSON PROPERTY HOLDINGS LLC
15583 CREDITVIEW RD
CALEDON ON L7C 3G8 CANADA

LOY MARK
38175 N TRANQUIL WY
CAREFREE AZ 85377

RIORDAN JAMES/DANNA
38151 N TRANQUIL WAY
CAREFREE AZ 85377

KEHL DAVID M/TRECCAPELLI LINDA A
PO BOX 5112
CAREFREE AZ 85377

KENT C SLAUGHTER
PO BOX 5642
CAREFREE AZ 85377

TRANQUIL PLACE HOA
7227 N 16TH ST STE 235
PHOENIX AZ 85020

HAWAIIAN HOLDINGS LLC
757 W MOON VALLEY DR
PHOENIX AZ 85023

Stacey Bridge-Denzak

From: Jackie Gibson <jackieg33@me.com>
Sent: Monday, October 05, 2020 3:12 PM
To: Stacey Bridge-Denzak
Subject: Kunka Driveway Concerns

Good afternoon Stacey,

Thank you for your time this morning, and for taking my call. I just wanted to verify with you our discussion to be sure I am understanding the allowable placement of the driveway and wall. My understanding per our conversation is that a driveway can be halfway into the BSL, so that would mean 10 feet from our property edge, to the wall and then the driveway, correct? If this is so, the proposed drawing here does seem to indicate that spacing is a little shy at the beginning. My request is that the driveway shift over enough, perhaps to the green lines I have drawn, especially considering the response we received from the architect indicating that trees could be planted to add a buffer for lights and potential loss of control of a vehicle.

Also, thank you for verifying that the driveway must be paved... which even at the grade proposed could be any paved material, not necessarily asphalt.

We appreciate being advised of public hearings related to the project, and I will follow up with the architect and our HOA once you confirm that my understanding is accurate.

Thanks much,
Jackie Cheek
Lot 8, 38150 Tranquil Way
480-326-3111

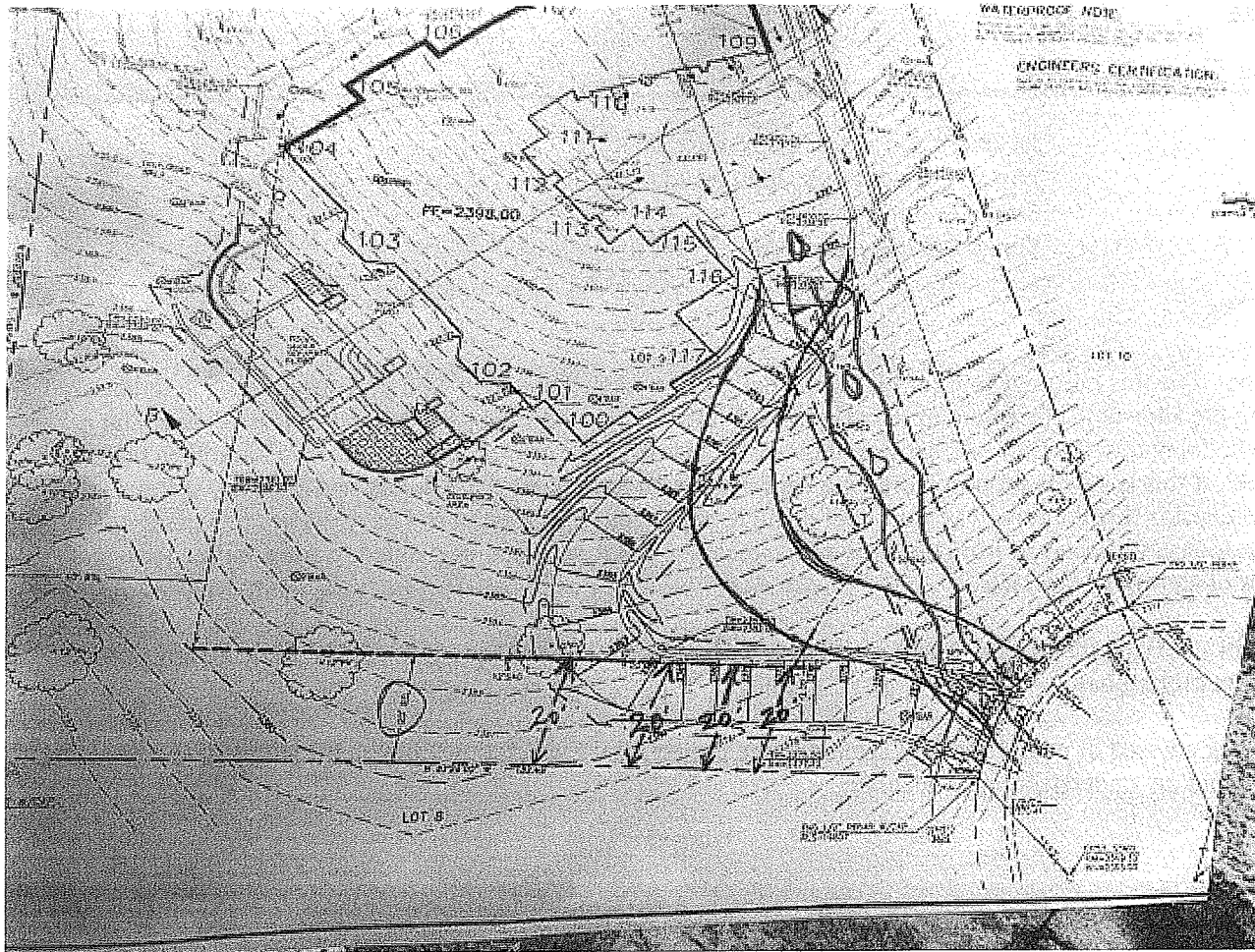


EXHIBIT C: PLANS AND ELEVATIONS

SURVEY CERTIFICATION:

THIS IS TO CERTIFY THAT THE SURVEY INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.

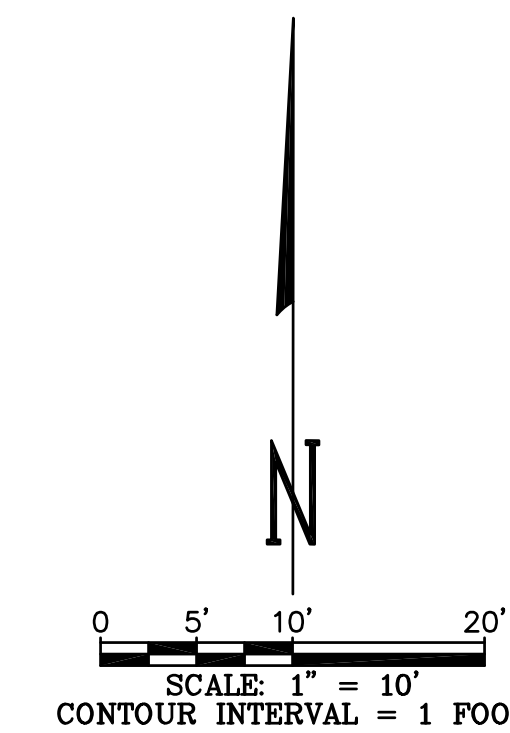


BENCHMARK:

UNIQUE POINT ID: 10028
 FND STONE 0.6' UP MARKED CHISELED "X4E" AT THE NORTHEAST CORNER OF SECTION 35, T6N, R4E.
 ELEVATION=2450.796' (NAVD88)

T.B.M.:

FND BRASS CAP FLUSH AT THE ANGLE POINT OF THE CUL-DE-SAC ON THE MONUMENT LINE OF TRANQUIL WAY IN FRONT OF LOT 9 TRANQUIL PLACE.
 ELEVATION=2369.55' (NAVD88)



Color	Range Beg.	Range End	Percent	Area
	0.00	19.99	44.5	17048.02
	20.00	24.99	32.8	12567.23
	25.00	29.99	18.9	7230.99
	30.00+		3.8	1463.23



DATE:

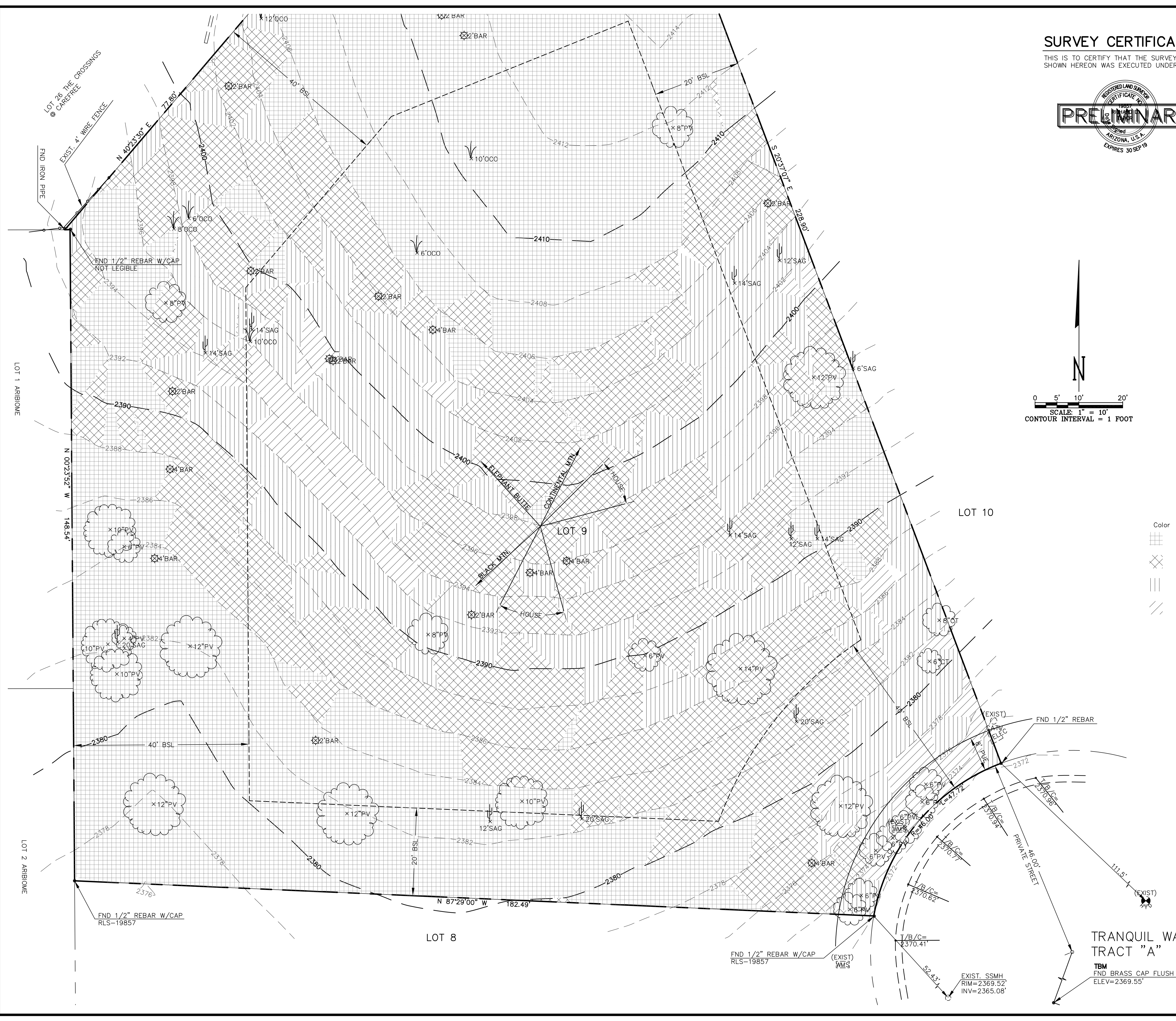
PHASE 1	11/04/19	MP
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GRAHAM SURVEYING & ENGINEERING INC.

Civil Engineers & Land Surveyors
 P.O. BOX 1240, Carefree, Arizona 85377
 (480) 488-4393

C-2

LOT 9 TRANQUIL PLACE, SHT. 2 OF 2, JOB #19-217



SHELTER 1324BK

Medium Wall Mount Lantern

Shelter's minimalist style in aluminum creates a chic, dramatic statement as the light from above grazes through its clear seeded glass. Shelter comes standard Dark Sky compliant.

FINISH: Black
WIDTH: 6.25"
HEIGHT: 20.5"
GLASS: Clear Seedy
MATERIAL: Solid Aluminum
BRAND: Hinkley

FINISH OPTIONS

TECHNOLOGY OPTIONS
 NON-LED LED

FEATURES

- Suitable for use in wet interior direct splash and outdoor direct rain or sprinkler locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- Reflector type or Par type lamp recommended.
- 2 year finish warranty.
- Bold lines and a clean, minimalist style complement contemporary architecture.
- Striking black finish enhances design.

Overview

FINISH: Black
WIDTH: 6.25"
HEIGHT: 20.5"
GLASS: Clear Seedy
LIGHT SOURCE: Socket
WATTAGE: 1-100w Med
VOLTAGE: 120v

HARDY ISLAND LED SPOT FAMILY

1536MZ-12W27K

LED 12w 2700K Spot Light

Named after the ruggedly beautiful island off the coast of British Columbia, Hardy Island products are impeccably designed to defy the harshest environments. The LumaCORE LED accent lighting system is an expertly engineered core that withstands the elements and provides the user with full control over wattage and color temperature.

FINISH: Matte Bronze
WIDTH: 5.75"
HEIGHT: 3.25"
GLASS: Clear Lens
MATERIAL: Cast Brass
BRAND: Hinkley

FINISH OPTIONS

TECHNOLOGY OPTIONS
 NON-LED 12V LED

FEATURES

- A wiring kit and ground spike is supplied.
- Suitable for use in wet interior direct splash and outdoor direct rain or sprinkler locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Photometrics based off engine photometrics.
- Incorporates CREE LEDs with application performance tested by CREE.
- Three lens options included offer versatility in beam spread via an easy to remove and insert optic assembly.
- Optional performance lenses available.
- LumaCore Series products carry a lifetime limited warranty.
- Hardy Island Series products carry a lifetime limited warranty.

Overview

FINISH: Matte Bronze
WIDTH: 5.75"
HEIGHT: 3.25"
GLASS: Clear Lens
LIGHT SOURCE: Integrated LED
LED NAME: 2703SE-75
WATTAGE: 12w LED
Included:
VOLTAGE: 12v
LED COLOR TEMP: 2700
LED LUMENS: 749

KICHLER

LED Shallow Shade - small

PROJECT: _____
 TYPE: _____
 ORDERING #: _____
 COMMENTS: _____

FEATURES

- A design only made possible by today's LED technology, this fixture will surely captivate its audience with its unobtrusive styling. Coordinates with the 1580K.
- Cast Aluminum Housing.
- 4 W / 5.8 VA Light Output, Integrated LEDs and Driver, 2500K (+150+175), High CRI
- 9V - 19V ACDC
- 30" of usable #12, SPT-1W leads. Cable connector supplied.
- 8" in-ground stake.

ORDERING INFORMATION

EXAMPLE: 1580SBKT (Product # & Finish)

PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES
1580S Dimensions: 8" W x 23.8" L	Cast Aluminum BKT - Textured Black	4 W / 5.8 VA	Integrated LEDs and Driver 2500K (+150+175) High CRI	30" of usable #12, SPT- 1W leads.	8" in-ground stake	15601AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Watertight Seal 15601BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Watertight Seal 15601BBR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Watertight Seal
						Flange For Tree / Surface Mounting 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish

NOTES

For Warranty Information, please visit www.landscapelighting.com

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

ATLANTIS FAMILY

1518BZ

Atlantis Large Path Light

Atlantis features a minimalist design for the ultimate in urban sophistication. Constructed of solid aluminum and Dark Sky compliant, Atlantis provides a chic solution to eco-conscious homeowners.

FINISH: Bronze
WIDTH: 6.5"
HEIGHT: 22"
GLASS: Etched Lens
MATERIAL: Aluminum
BRAND: Hinkley

FINISH OPTIONS

FEATURES

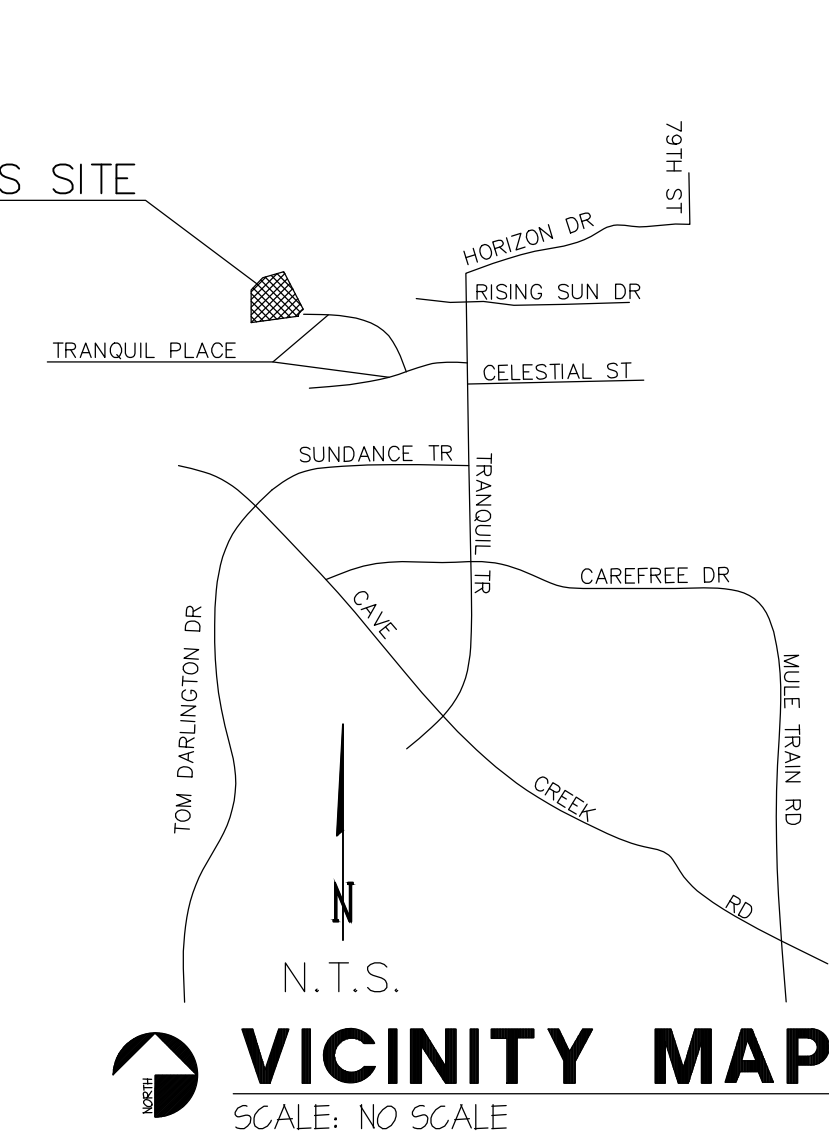
- A wiring kit and ground spike is supplied.
- Suitable for use in wet interior direct splash and outdoor direct rain or sprinkler locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Photometrics are based off bulb photometrics.
- Warm rich light bronze tone.

Overview

FINISH: Bronze
WIDTH: 6.5"
HEIGHT: 22"
GLASS: Etched Lens
LIGHT SOURCE: Socket
WATTAGE: 1-20w T-3 Bi-Pin
Included:
VOLTAGE: 12v

LIGHTING NOTES:

- ALL EXTERIOR LIGHTING SHALL MEET THE REQUIREMENTS OF SECTION 412 OF THE ZONING ORDINANCE.
- EXTERIOR BUILDING FIXTURES SHALL BE CUT-OFFS AND SHIELDED



SITE PLAN INFORMATION

Client	Walt & Kathy Kunka
Address	38174 N. TRANQUIL WAY CAREFREE, AZ
Zip Code	85371
Subdivision	TRANQUIL PLACE
Section / Township / Range	SECTION 26 TOWNSHIP 6 N, RANGE 4 E OF THE G1 & 4 SALT RIVER BASE 1 MERIDIAN, MARICOPA COUNTY, AZ
Legal	TRANQUIL PLACE LOT 4
Zoning	RI-25
MGR	48-43
Assessor's Parcel Number	216-23-063
FEMA	X

Community Number	Panel Number	Panel Date	Suffix	FIRM Date	FIRM Zone	Base Flood Elevation (AO Zone, use depth)
04C126	803	10/16/2013	L	11/04/15	X	NA

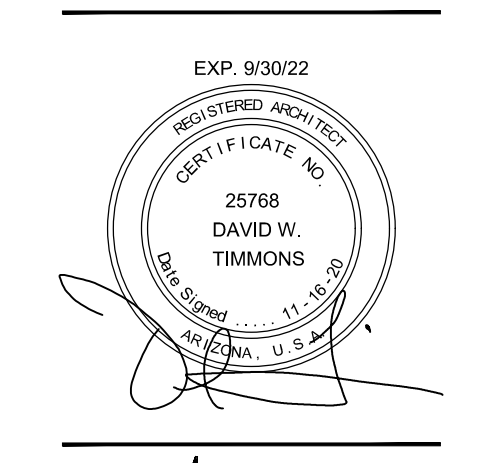
SQUARE FOOT CALCULATIONS

BUILDING FOOTPRINT:	6,830
LIVABLE:	3,911
COVERED ENTRY:	110
COVERED PATIO:	845
GARAGE:	1,194
MECHANICAL:	65
COURT YARD AREA:	530
SOUTH COURT YARD:	240
NORTH COURT YARD:	240
WALKING DECK:	331
POOL/SPA AREA:	1,031
SITE CALCULATIONS:	
LOT AREA:	30,526
CAREFREE LOT COVERAGE ALLOWED:	20%
LOT COVERAGE:	6,454 S.F. 16.85%
CAREFREE DISTURBED AREA ALLOWED:	60%
DISTURBED AREA:	15,470 S.F. 40%
TRANQUIL PLACE H.O.A. BUILDABLE ENVELOPE ALLOWED:	15,500 S.F.
BUILDABLE ENVELOPE:	15,470 S.F.

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CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
 36601 N. MULE TRAIN ROAD UNIT 5C
 CAREFREE, ARIZONA 85377

TRANQUIL PLACE
 LOT 9
 APN: 216-23-063
 38174 N. TRANQUIL WAY
 CAREFREE, AZ. 85377



DAVID TIMMONS
 ARCHITECTURAL
 DESIGN STUDIO

2830 East Tracy Lane #4
 Phoenix, Arizona 85032
 Phone: (480) 596-3408
 email: TimmonsStudio@cox.net
 web: TimmonsDesignStudio.com

UTILITIES NOTES:

- ALL UTILITIES SHALL BE LOCATED BELOW OR ADJACENT TO THE DRIVEWAY.
- UTILITIES SHALL NOT BE LOCATED UNDER INDISTURBED GRADE

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20.0'

SHEET INDEX

A-1	ARCHITECTURAL SITE PLAN
A-2	SITE / BUILDING SECTIONS
A-3	SITE / BUILDING SECTIONS
A-4	FLOOR PLAN
A-5	ROOF PLAN
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
A-8	SCREEN/ RETAINING WALL ELEVATIONS
A-9	SCREEN/ RETAINING WALL ELEVATIONS
A-10	COLORLED ELEVATIONS
A-11	COLORLED ELEVATIONS

REVISIONS	DATE	BY
1		
2		
3		
4		

DRAWN DT
CHECKED DT
DATE 11/16/20
SCALE 1" = 20.0'
JOB NUMBER 201909
TITLE PRELIMINARY - D.5 ARCHITECTURAL SITE PLAN
SHEET A-1
1 OF 11 SHEETS

ELECTRICAL SYMBOLS

	SHIELDED COLUMN LIGHT FIXTURE		LANDSCAPE TREE LIGHTING FIXTURE
	DRIVE WAY SHIELDED LIGHT FIXTURE		SHIELDED PATH LIGHT FIXTURE



NOTES:

- STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT SURVEY PREPARED BY A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO POURING OF FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.
- A SECOND AS-BUILT SURVEY PREPARED BY A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO FRAMING INSPECTION AND SURVEY WILL VERIFY MAXIMUM STRUCTURE HEIGHT ABOVE NATURAL GRADE AND FINISH GRADE.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- BEARINGS AND DISTANCES ARE RECORD PER PLAT OF CAREFREE TOO RECORDED IN BOOK 93 OF MAPS PAGE 31.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 811 OR Arizona811.com
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE LOCATIONS AND ELEVATIONS, WALL, STEP, ETC..
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
- ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.
- HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
- ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- AN AS BUILT SURVEY PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO THE FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.
- ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES.
- CONSTRUCTED SLOPES AND EROSION PRONE AREAS SHALL BE EROSION PROTECTED WITH MINIMUM 4 INCH RIP RAP AND PLANTS.
- DRIP IRRIGATION WILL BE USED ON NEWLY INSTALLED PLANTS AND SALVAGED TREES, WHETHER PERMANENT OR TEMPORARY.
- A PRE-GRADING INSPECTION IS REQUIRED AFTER THE PERMIT IS ISSUED AND BEFORE ANY GRADING BEGINS. ALL PROTECTED PLANTS ARE TO BE MOVED INTO THE DESIGNATED AREAS, THE CONSTRUCTION FENCE IS TO BE IN PLACE AND THE BUILDING DEPARTMENT IS TO BE CALLED FOR AN INSPECTION.
- ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- HYDROSEED NATIVE SEED MIX SHALL BE USED TO ASSIST WITH REVEGETATION AND EROSION PROTECTION.

LEGEND:

- A/C AIR CONDITIONING EQUIPMENT
- BAR BARREL CACTUS
- BLDR BOULDER
- BJ BOULDER JUMBLE
- BSL BUILDING SETBACK LINE
- CABLE TELEVISION
- CATV CAT CLAW
- CC CHAIN FRUIT CHOLLA
- CFC CUBIC FEET PER SECOND
- CFS CRUCIFIXION THORN
- CT DENOTES CALCULATED
- (C) DENOTES MEASURED
- (M) DENOTES RECORDED
- (R) DIRECTION OF DRAINAGE
- ← DE DRAINAGE EASEMENT
- EDA EDGE OF DISTURBED AREA
- E/P EDGE OF PAVEMENT
- (EXIST) ELECTRIC
- ELEC.
- 00— EXISTING CONTOUR
- (00.0) EXISTING ELEVATION
- (EXIST) EXISTING FIRE HYDRANT
- FND FOUND
- ◇ FOUND BUILDING ENVELOPE STAKE
- FOUND MONUMENT
- GENERAL PURPOSE EASEMENT
- IRONWOOD
- [C] IRRIGATION CONTROL VALVE
- LF LOWEST FINISHED FLOOR
- MCR MARICOPA COUNTY RECORDS
- MESQ MESQUITE
- OCO OCOTILLO
- PV PALO VERDE
- POWER LINES
- 00— PROPOSED CONTOUR
- 00.0 PROPOSED ELEVATION
- PUE PUBLIC UTILITIES EASEMENT
- RECORD MONUMENT
- ROCK OUTCROP
- SAG SAGUARO CACTUS
- (EXIST) TELEPHONE RISER
- T/B/C TOP BACK OF CURB
- TF TOP OF FOOTING
- TR TOP OF RAIL
- TRO TOP OF ROCK OUTCROPPING
- TW TOP OF WALL
- TOF TOP OF FENCE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- ① WALL OPENING FOR DRAINAGE (8"x16")
- WM WATER METER BOX
- WMS WATER METER BOX WITH SERVICE
- WV WATER VALVE
- Y YUCCA
- YC YUCCA CLUMP
- ★ YUCCA(S) under 6' in height (unless otherwise indicated)

NOTE:

- THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- ALL BEARINGS AND DISTANCES ARE RECORD PER DEED UNLESS OTHERWISE NOTED.

UTILITIES NOTE:

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ 811 OR GO TO Arizona811.com.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE AS-BUILT DIMENSIONS SHOWN HERON ARE TRUE CORRECT AND ACCURATE.

AS-BUILT TOP OF STEM WALL & BUILDING SETBACKS _____ Date _____

AS-BUILT HEIGHT OF BUILDING _____ Date _____

BENCHMARK:

UNIQUE POINT ID: 10028
FND STONE 0.6' UP MARKED CHISELED "X4E" AT THE NORTHEAST CORNER OF SECTION 35, T6N, R4E.
ELEVATION= 2450.796' (NAVD88)

T.B.M.:

FND BRASS CAP FLUSH AT THE ANGLE POINT OF THE CUL-DE-SAC ON THE MONUMENT LINE OF TRANQUIL WAY IN FRONT OF LOT 9 TRANQUIL PLACE.
ELEVATION=2369.55' (NAVD88)

CIVIL GRADING & DRAINAGE PLAN

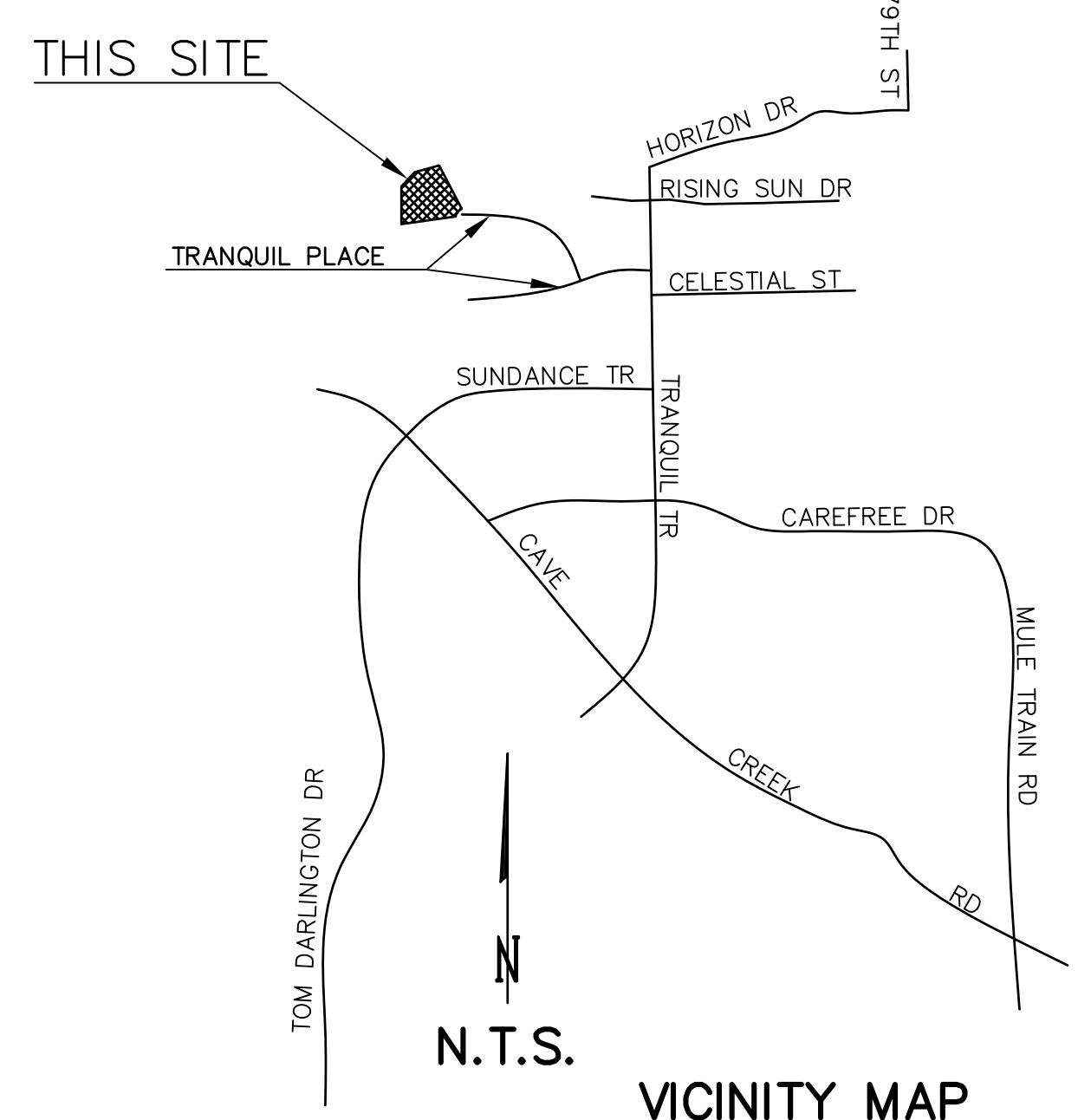
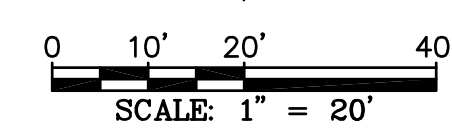
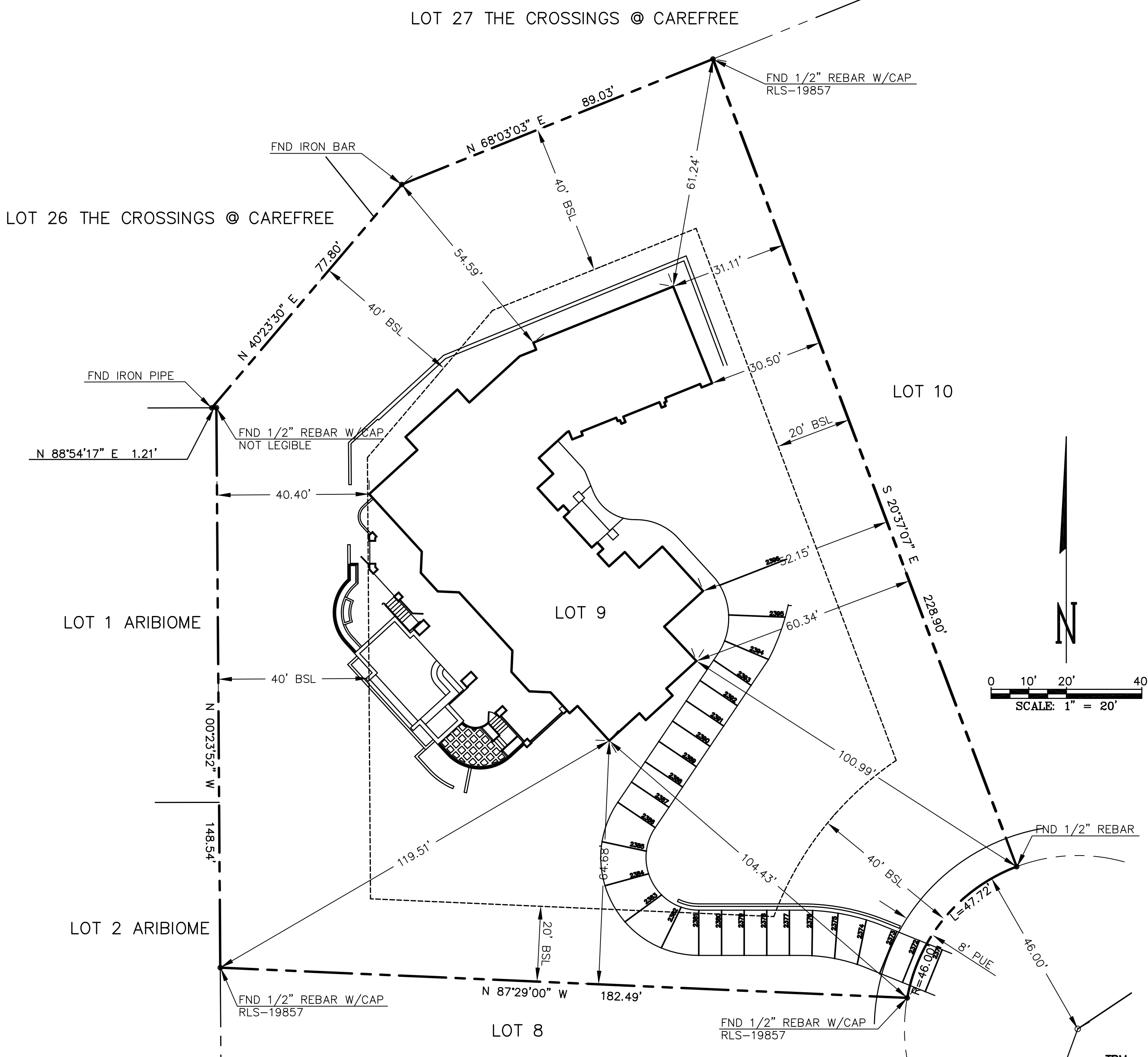
LOT 9 TRANQUIL PLACE

RECORDED IN BOOK 411 OF MAPS, PAGE 43 MCR
SITUATED IN SW 1/4 OF SECTION 26
TOWNSHIP 6 NORTH, RANGE 4 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CAREFREE, MARICOPA COUNTY, ARIZONA.

OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CAREFREE, MARICOPA COUNTY, ARIZONA.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
040126	883 (10/16/13)	L	(11/04/15)	X	N/A



CLIENT:

WALT KUNKA
PO BOX 705
CAREFREE, AZ. 85377

SITE ADDRESS:

38174 N TRANQUIL WAY
CAREFREE, AZ. 85377

ASSESSORS PCL. NO.:

216-23-063

ZONING:

R1-35

LOT DATA:

AREA	38,325 S.F. / 0.88 ACRES ±
DISTURBED AREA	16,661 S.F. (43%)
MAX DRIVEWAY WIDTH	12 FT.
AVG. DRIVEWAY WIDTH	12 FT.
DRIVEWAY LENGTH	177 LF.
MAX DRIVEWAY CUT	4 FT.
MAX DRIVEWAY FILL	1 FT.
LENGTH OF RET. WALLS	485 LF.
MAX HGT. RET. WALLS	6 FT.
AVG. HGT. RET. WALLS	6 FT.
LENGTH OF NON RET. WALLS	121 LF.
LOT COVERAGE	6,459 S.F. (16.85%)

DATE:

PHASE 1	11/04/19	MP
PHASE 2	08-31-2020	PS
MNTSIDE	11-17-2020	PS
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ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



CUT & FILL:

- CUT 1080 C.Y.
- FILL 177 C.Y.
- NET CUT 903 C.Y.

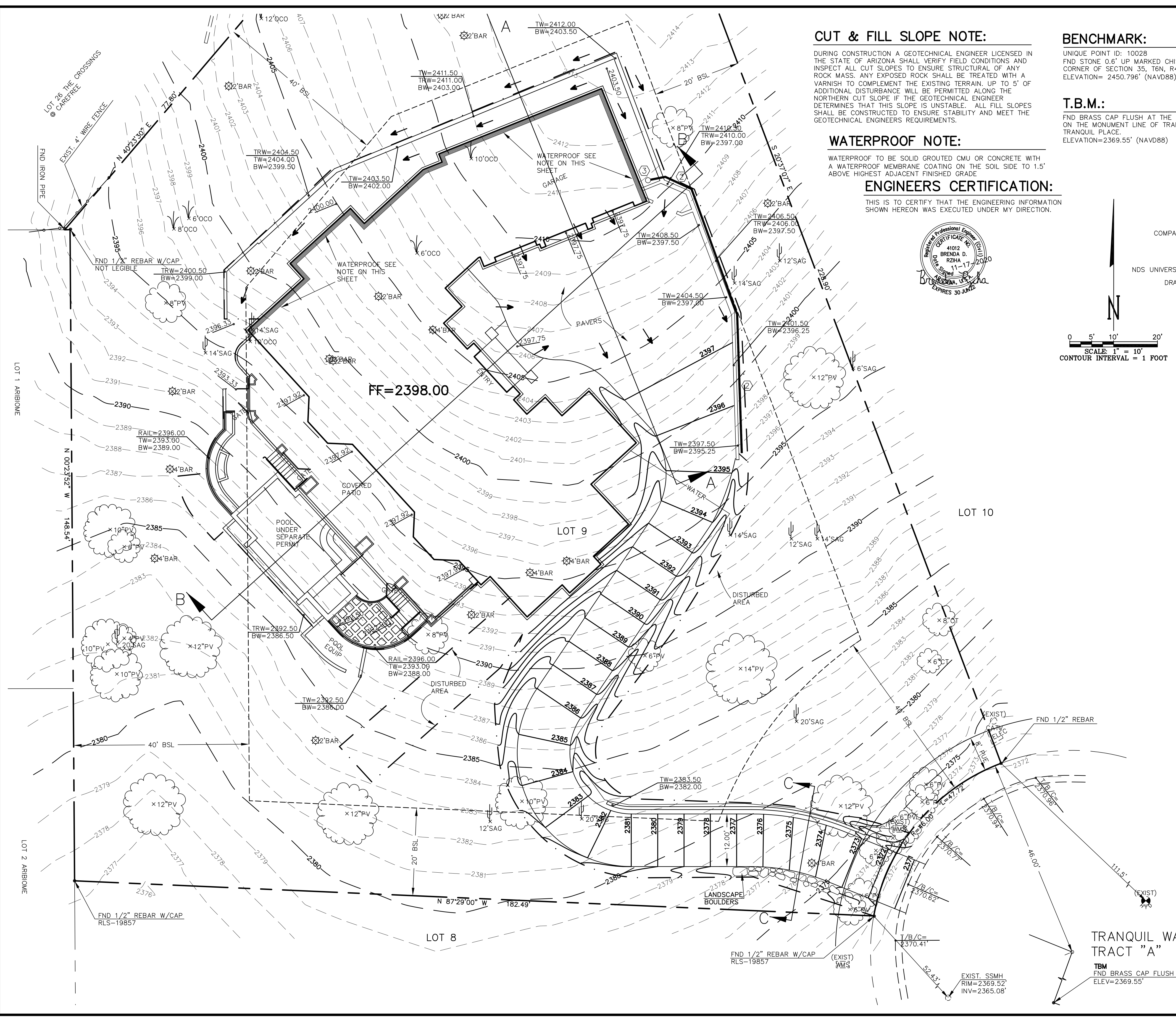
Note: Quantities shown are approximate only. Engineer makes no guarantee as to the accuracy of the quantities shown herein. Contractor shall verify quantities independently prior to bidding. Quantities do not include compaction, ground scarification, shrink or swell factors.



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Civil Engineers & Land Surveyors
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(480) 488-4393

LOT 9 TRANQUIL PLACE, SHT. 1 OF 3, JOB #19-217



CUT & FILL SLOPE NOTE:

DURING CONSTRUCTION A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF ARIZONA SHALL VERIFY FIELD CONDITIONS AND INSPECT ALL CUT SLOPES TO ENSURE STRUCTURAL OF ANY ROCK MASS. ANY EXPOSED ROCK SHALL BE TREATED WITH A VARNISH TO COMPLEMENT THE EXISTING TERRAIN. UP TO 5' OF ADDITIONAL DISTURBANCE WILL BE PERMITTED ALONG THE NORTHERN CUT SLOPE IF THE GEOTECHNICAL ENGINEER DETERMINES THAT THIS SLOPE IS UNSTABLE. ALL FILL SLOPES SHALL BE CONSTRUCTED TO ENSURE STABILITY AND MEET THE GEOTECHNICAL ENGINEERS REQUIREMENTS.

WATERPROOF NOTE:

WATERPROOF TO BE SOLID GROUTED CMU OR CONCRETE WITH A WATERPROOF MEMBRANE COATING ON THE SOIL SIDE TO 1.5' ABOVE HIGHEST ADJACENT FINISHED GRADE

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.

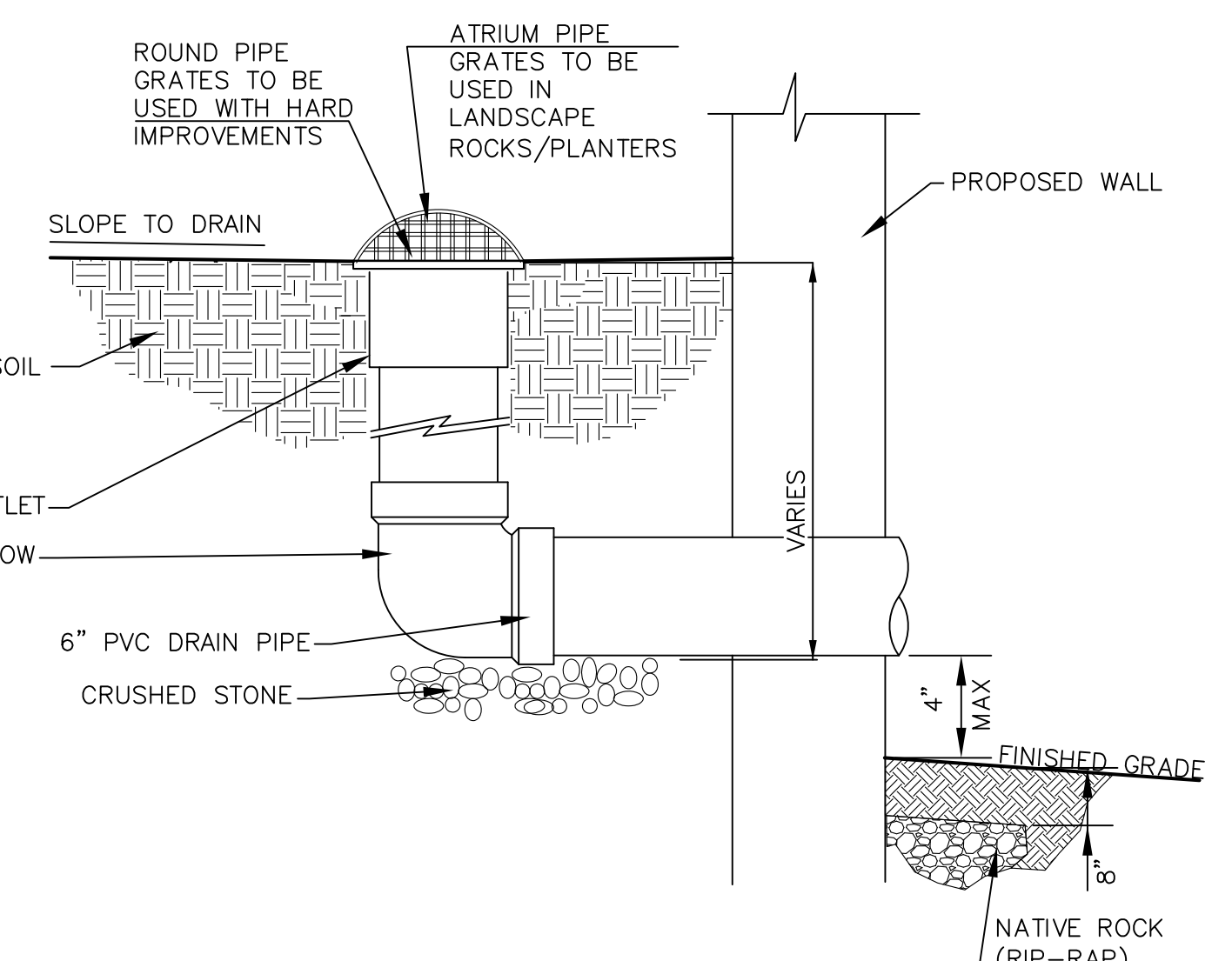
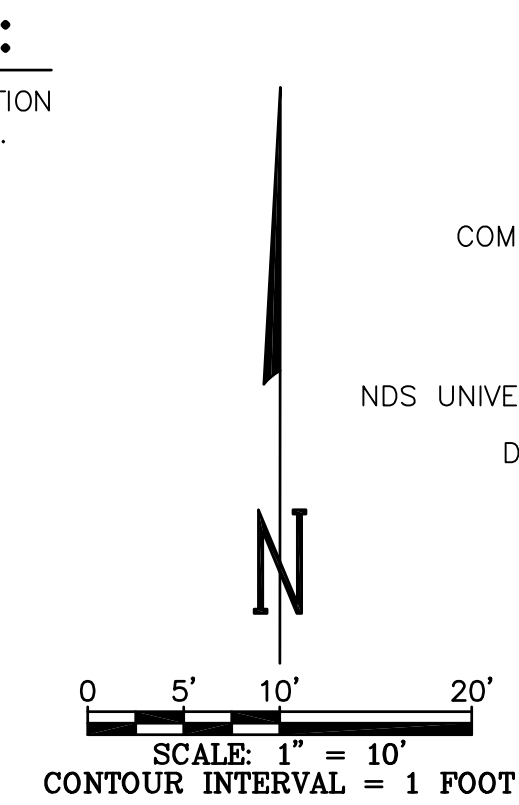


BENCHMARK:

UNIQUE POINT ID: 10028
 FND STONE 0.6' UP MARKED CHISELED "X4E" AT THE NORTHEAST CORNER OF SECTION 35, T6N, R4E.
 ELEVATION= 2450.796' (NAVD88)

T.B.M.:

FND BRASS CAP FLUSH AT THE ANGLE POINT OF THE CUL-DE-SAC ON THE MONUMENT LINE OF TRANQUIL WAY IN FRONT OF LOT 9 TRANQUIL PLACE.
 ELEVATION=2369.55' (NAVD88)

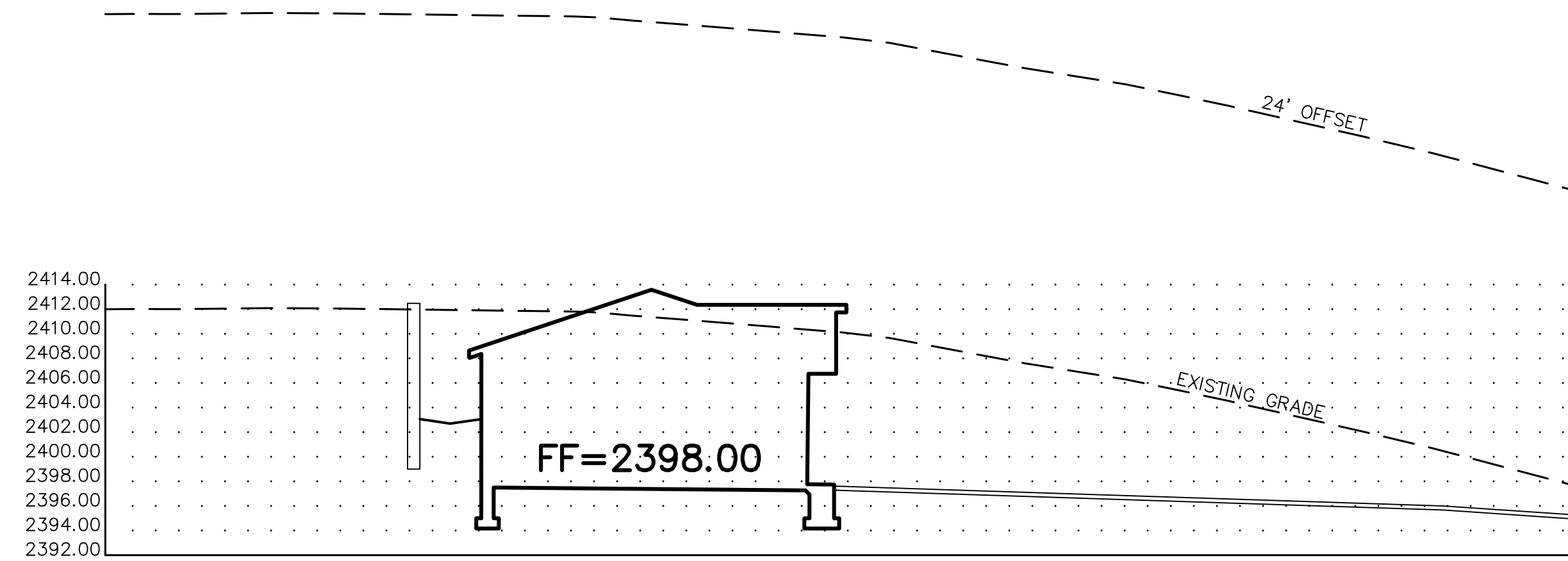


1 LANDSCAPE ATRIUM GRATE DRAIN
 N.T.S.

DATE:

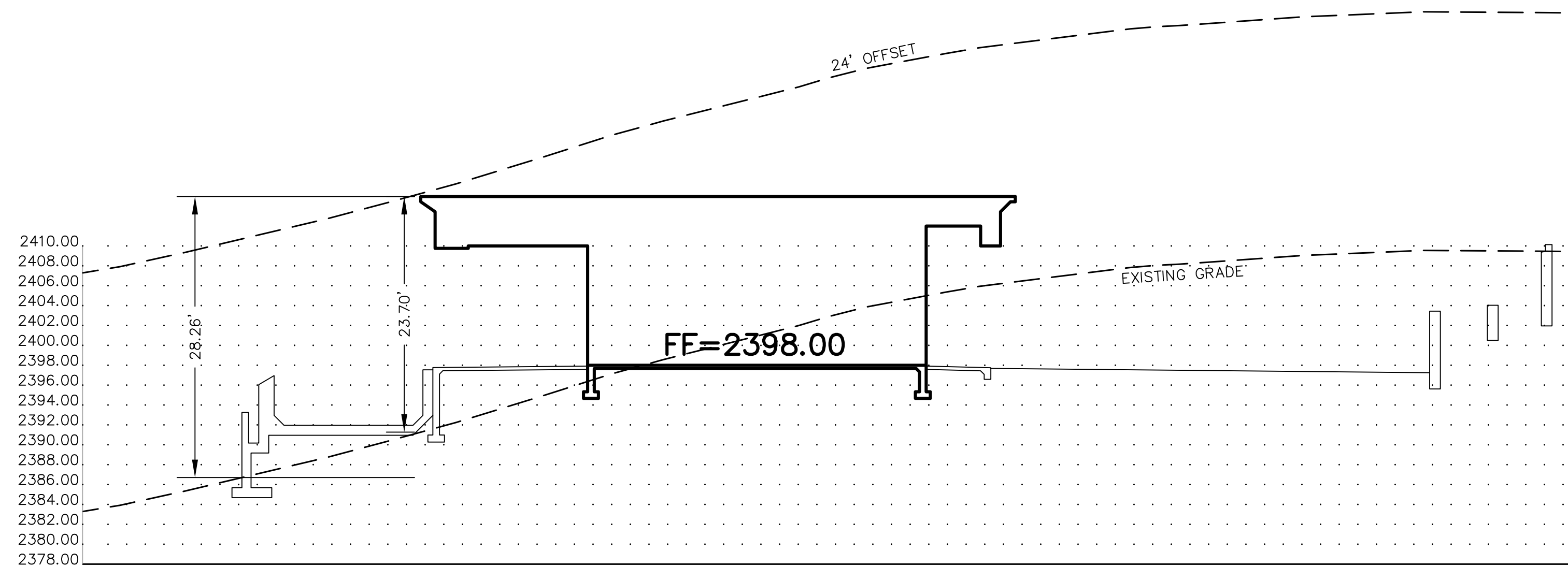
PHASE 1	11/04/19	MP
PHASE 2	08-31-2020	PS
MNTSIDE	11-17-2020	PS
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 Civil Engineers & Land Surveyors
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 (480) 488-4393



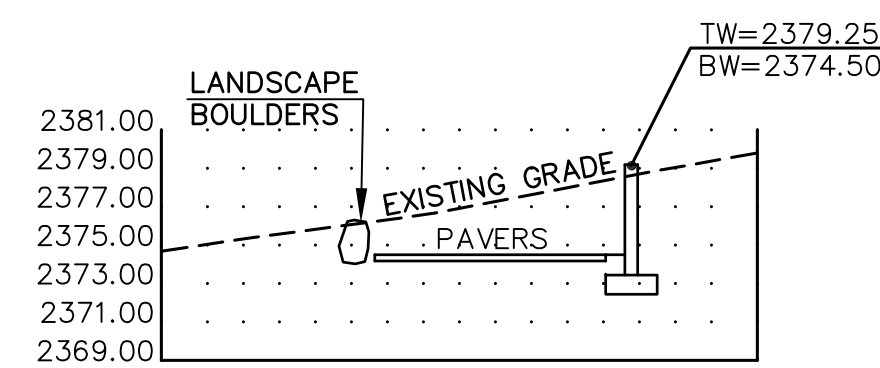
SECTION A-A

SCALE: 1"=10'



SECTION B-B

SCALE: 1"=10'



SECTION C-C

SCALE: 1"=10'

BENCHMARK:

UNIQUE POINT ID: 10028
 FND STONE 0.6' UP MARKED CHISELED "X4E" AT THE NORTHEAST CORNER OF SECTION 35, T6N, R4E.
 ELEVATION= 2450.796' (NAVD88)

T.B.M.:

FND BRASS CAP FLUSH AT THE ANGLE POINT OF THE CUL-DE-SAC ON THE MONUMENT LINE OF TRANQUIL WAY IN FRONT OF LOT 9 TRANQUIL PLACE
 ELEVATION=2369.55' (NAVD88)

CUT & FILL SLOPE NOTE:

DURING CONSTRUCTION A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF ARIZONA SHALL VERIFY FIELD CONDITIONS AND INSPECT ALL CUT SLOPES TO ENSURE STRUCTURAL OF ANY ROCK MASS. ANY EXPOSED ROCK SHALL BE TREATED WITH A VARNISH TO COMPLEMENT THE EXISTING TERRAIN. UP TO 5' OF ADDITIONAL DISTURBANCE WILL BE PERMITTED ALONG THE NORTHERN CUT SLOPE IF THE GEOTECHNICAL ENGINEER DETERMINES THAT THIS SLOPE IS UNSTABLE. ALL FILL SLOPES SHALL BE CONSTRUCTED TO ENSURE STABILITY AND MEET THE GEOTECHNICAL ENGINEERS REQUIREMENTS.

WATERPROOF NOTE:

WATERPROOF TO BE SOLID GROUTED CMU OR CONCRETE WITH A WATERPROOF MEMBRANE COATING ON THE SOIL SIDE TO 1.5' ABOVE HIGHEST ADJACENT FINISHED GRADE

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



DATE:

PHASE 1	11/04/19	MP
PHASE 2	08-31-2020	PS
MNTSIDE	11-17-2020	PS
----	----	----

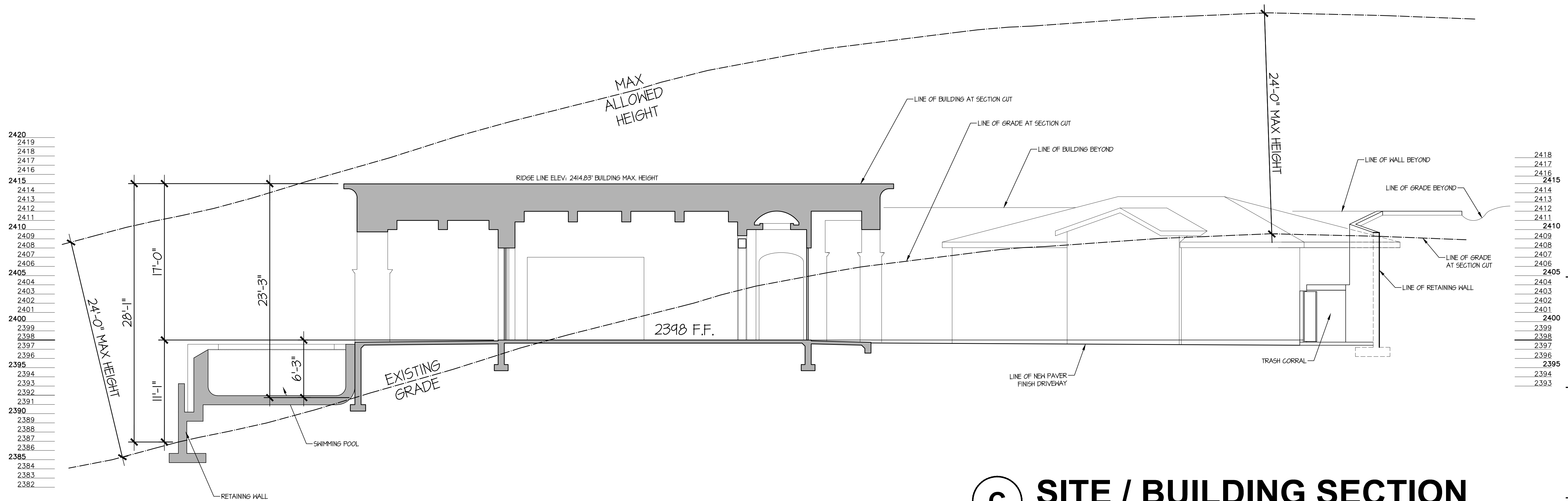
GRAHAM SURVEYING & ENGINEERING INC.

Civil Engineers & Land Surveyors
 P.O. BOX 1240, Carefree, Arizona 85377
 (480) 488-4393



C-3

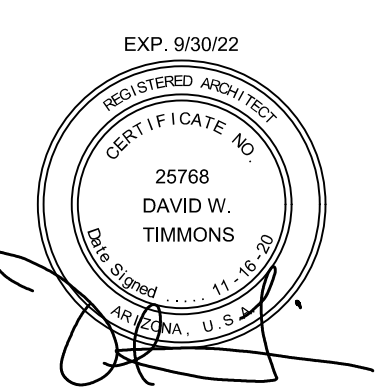
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C SITE / BUILDING SECTION
SCALE: 3/16" = 1'-0"

CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
36601 N. MULE TRAIN ROAD UNIT 5C
CAREFREE, ARIZONA 85377

TRANQUIL PLACE
LOT 9
APN: 216-23-063
38174 N. TRANQUIL WAY
CAREFREE, AZ. 85377

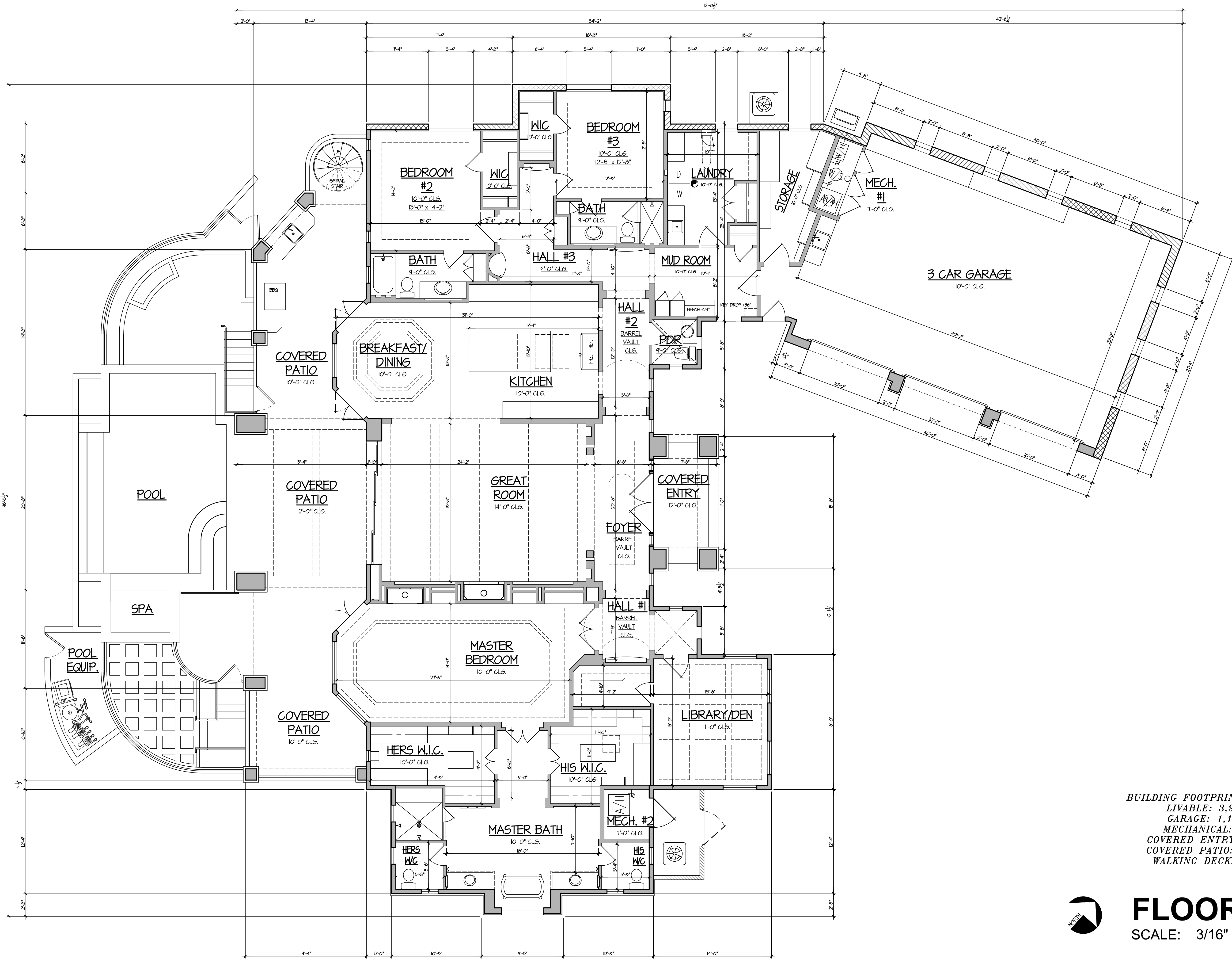


DAVID TIMMONS
ARCHITECTURAL
DESIGN STUDIO
2830 East Tracy Lane #4
Phoenix, Arizona 85032
Phone: (480) 596-3408
email: TimmonsStudio@cox.net
web: TimmonsDesignStudio.com

REVISIONS	DATE	BY
△ CITY COMMENTS		

DRAWN DT
CHECKED DT
DATE 11/16/20
SCALE 3/16" = 1'-0"
JOB NUMBER 201909
TITLE DRB SITE / BUILDING SECTIONS
SHEET A-3
3 OF 11 SHEETS

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BUILDING FOOTPRINT: 6,130 S.F.
LIVABLE: 3,911 S.F.
GARAGE: 1,139 S.F.
MECHANICAL: 65 S.F.
COVERED ENTRY: 118 S.F.
COVERED PATIO: 895 S.F.
WALKING DECK: 331 S.F.

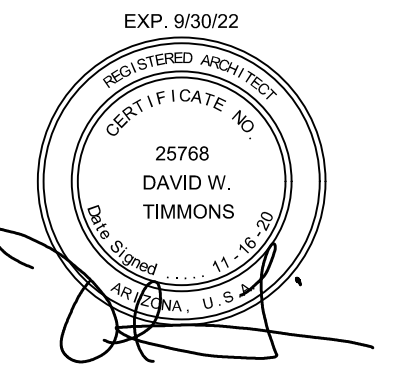


FLOOR PLAN

SCALE: 3/16" = 1'-0"

**CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA**
36601 N. MULE TRAIN ROAD UNIT 5C
CAREFREE, ARIZONA 85377

TRANQUIL PLACE
LOT 9
APN: 216-23-063
38174 N. TRANQUIL WAY
CAREFREE, AZ. 85377

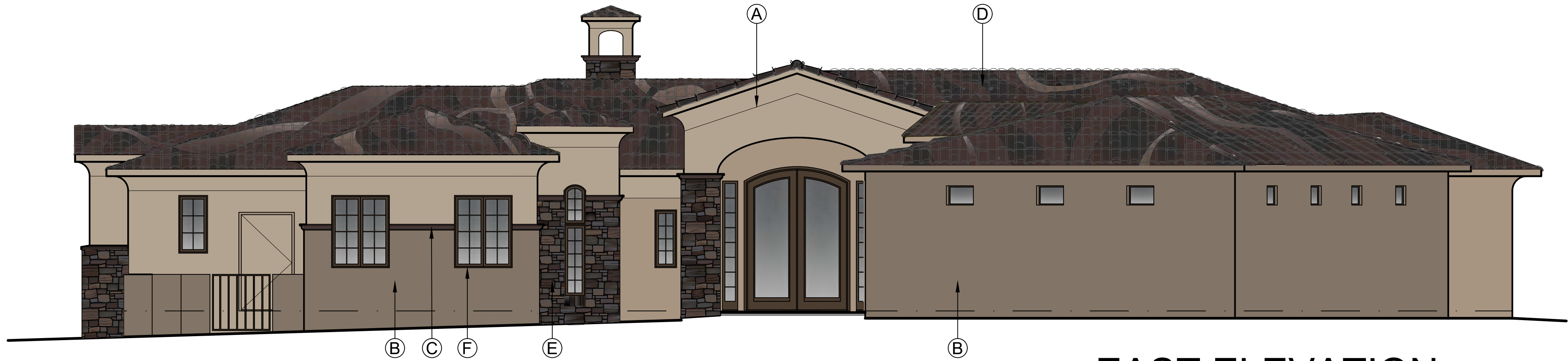


**DAVID TIMMONS
ARCHITECTURAL
DESIGN STUDIO**
2830 East Tracy Lane #4
Phoenix, Arizona 85032
Phone: (480) 596-3408
email: TimmonsStudio@cox.net
web: TimmonsDesignStudio.com

REVISIONS	DATE	BY
Δ CITY COMMENTS		

DRAWN	DT
CHECKED	DT
DATE	11/16/20
SCALE	3/16" = 1'-0"
JOB NUMBER	201909
TITLE	DRB FLOOR PLAN
SHEET	A-4
4 OF 11 SHEETS	

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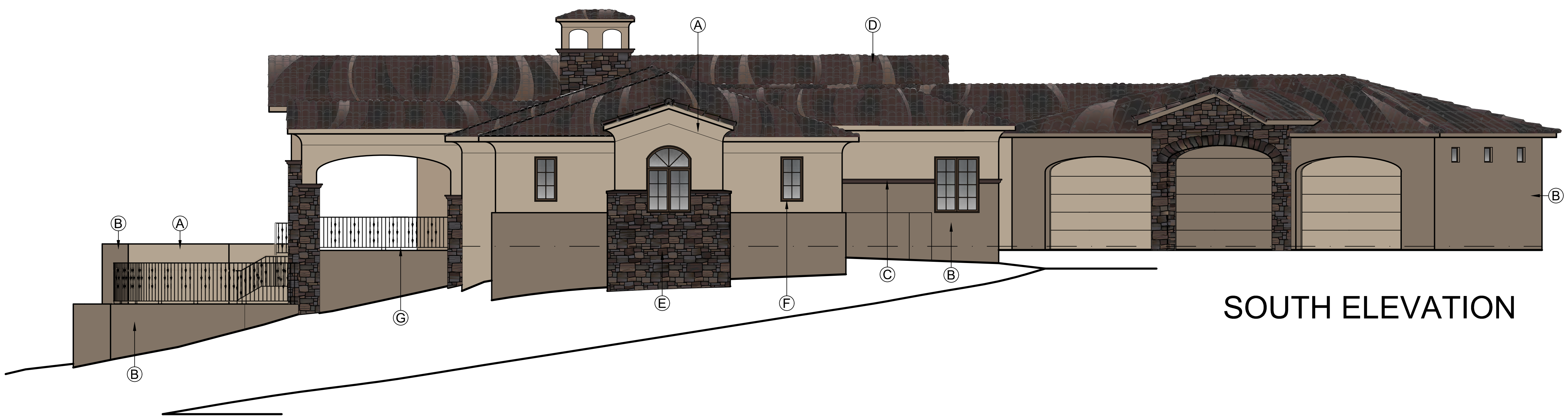


EAST ELEVATION

- COLOR PALETTE:**
 ALL PAINT COLORS SHERWIN WILLIAMS OR EQUAL
- (A) - STONE LION SW 7507
 - (B) - FOOTHILLS SW 7514
 - (C) - ROCKWEED SW 2735
 - (D) - ROOF TILE: EAGLE CAPASTRANO CONCORD BLEND #3602
 - (E) - STONE: ANASAZI STONE COMPANY IRONWOOD LEDGESTONE
 - (F) - WINDOW TRIM COLOR: PELLA - PORTOBELLO PR7842
 - (G) - DECORATIVE METAL FENCE: COLOR TO MATCH WINDOW TRIM



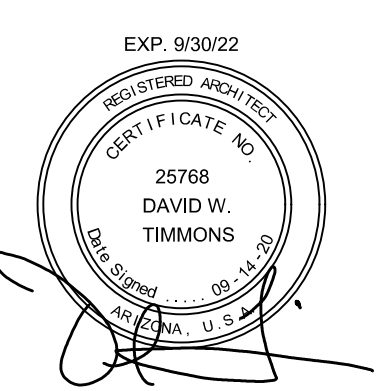
EAST ELEVATION/ GARAGE SECTION



SOUTH ELEVATION

CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
 36601 N. MULE TRAIN ROAD UNIT 5C
 CAREFREE, ARIZONA 85377

TRANQUIL PLACE
 LOT 9
 APN: 216-23-063
 38174 N. TRANQUIL WAY
 CAREFREE, AZ. 85377



DAVID TIMMONS
 ARCHITECTURAL
 DESIGN STUDIO
 2830 East Tracy Lane #4
 Phoenix, Arizona 85032
 Phone: (480) 596-3408
 email: TimmonsStudio@cox.net
 web: TimmonsDesignStudio.com

REVISIONS	DATE	BY
△ CITY COMMENTS		

DRAWN DT
CHECKED DT
DATE 09/14/20
SCALE 3/16" = 1'-0"
JOB NUMBER 201909
TITLE PRELIMINARY - D.5 EXTERIOR ELEVATIONS
SHEET A-10
10 OF 11 SHEETS

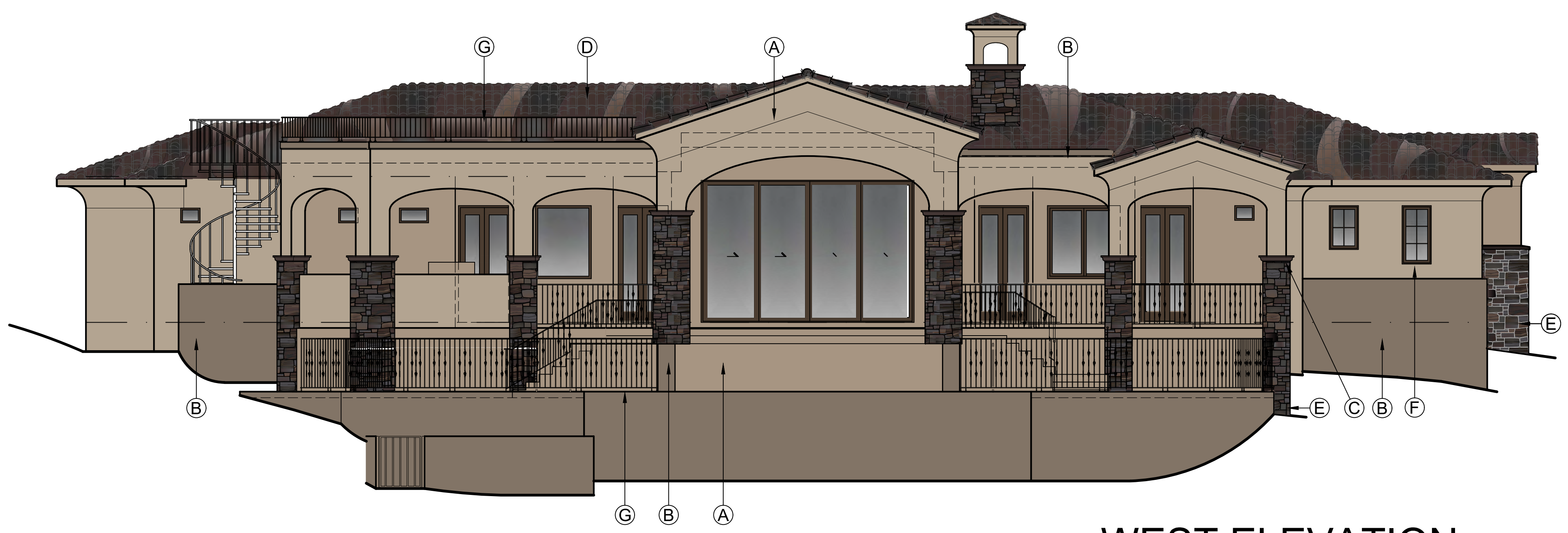
COLORED EXTERIOR ELEVATIONS
 SCALE: 3/16" = 1'-0"

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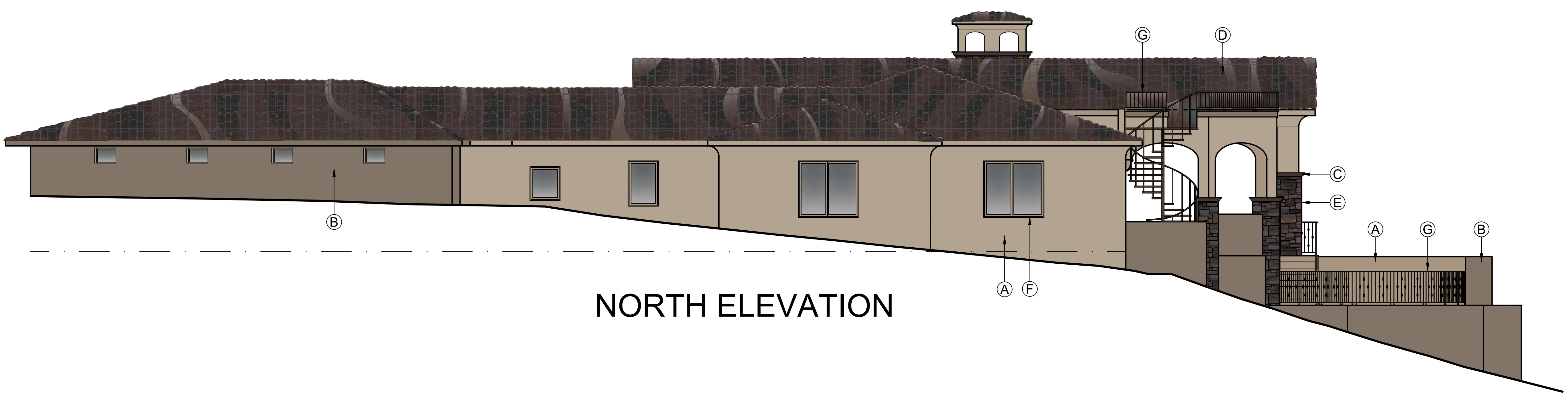
COLOR PALETTE:

ALL PAINT COLORS SHERWIN WILLIAMS OR EQUAL

- (A) - STONE LION SW 7507
- (B) - FOOTHILLS SW 7514
- (C) - ROCKWEED SW 2735
- (D) - ROOF TILE: EAGLE CAPASTRANO CONCORD BLEND #3602
- (E) - STONE: ANASAZI STONE COMPANY IRONWOOD LEDGESTONE
- (F) - WINDOW TRIM COLOR: PELLA - PORTOBELLO PR7842
- (G) - DECORATIVE METAL FENCE: COLOR TO MATCH WINDOW TRIM



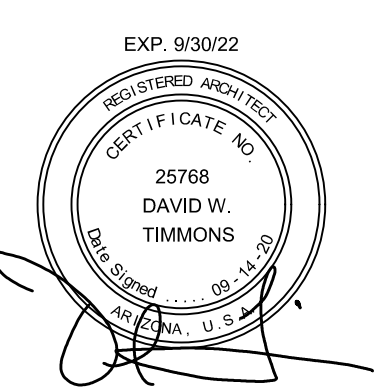
WEST ELEVATION



NORTH ELEVATION

CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
 36601 N. MULE TRAIN ROAD UNIT 5C
 CAREFREE, ARIZONA 85377

TRANQUIL PLACE
 LOT 9
 APN: 216-23-063
 38174 N. TRANQUIL WAY
 CAREFREE, AZ. 85377



DAVID TIMMONS
 ARCHITECTURAL
 DESIGN STUDIO
 2830 East Tracy Lane #4
 Phoenix, Arizona 85032
 Phone: (480) 596-3408
 email: TimmonsStudio@cox.net
 web: TimmonsDesignStudio.com

REVISIONS	DATE	BY
△ CITY COMMENTS		

DRAWN DT
CHECKED DT
DATE 09/14/20
SCALE 3/16" = 1'-0"
JOB NUMBER 201909
TITLE PRELIMINARY - D.5 EXTERIOR ELEVATIONS
SHEET A-11
OF SHEETS

COLORED EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

COLORED PERSPECTIVE PHOTO ALBUM



LOT 9 TRANQUIL PLACE



**DAVID TIMMONS
ARCHITECTURAL
DESIGN STUDIO**

2830 East Tracy Lane #4
Phoenix, Arizona 85032
Phone: (480) 596-3408
email: TimmonsStudio@outlook.com
web: timmonsdesignstudio.com

201909

9/14/20

DEVELOPMENT REVIEW BOARD
SUBMITTAL FOR
**WALT & KATHY
KUNKA**
36601 N. MULE TRAIN ROAD
UNIT 5C
CAREFREE, ARIZONA 85377

















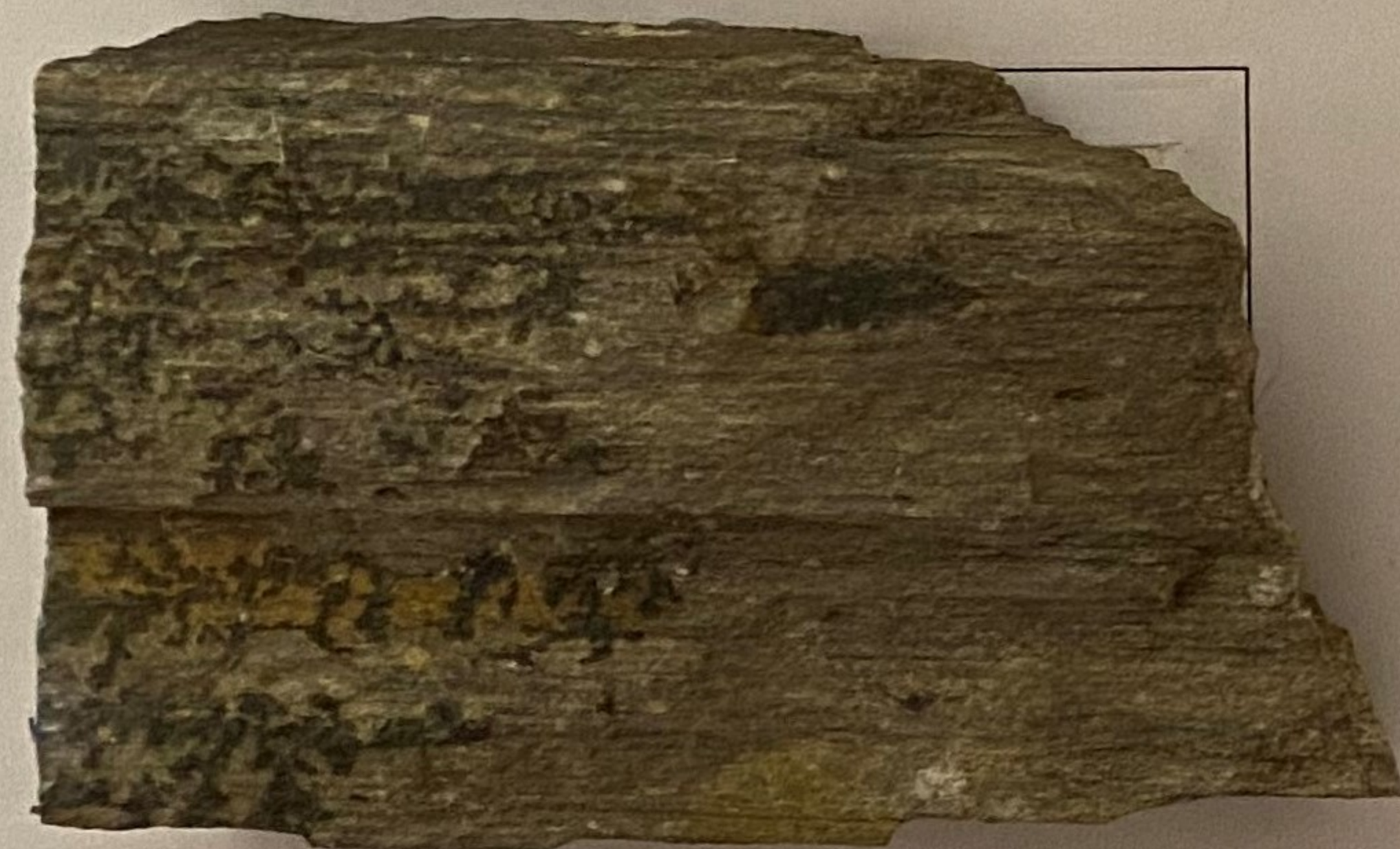




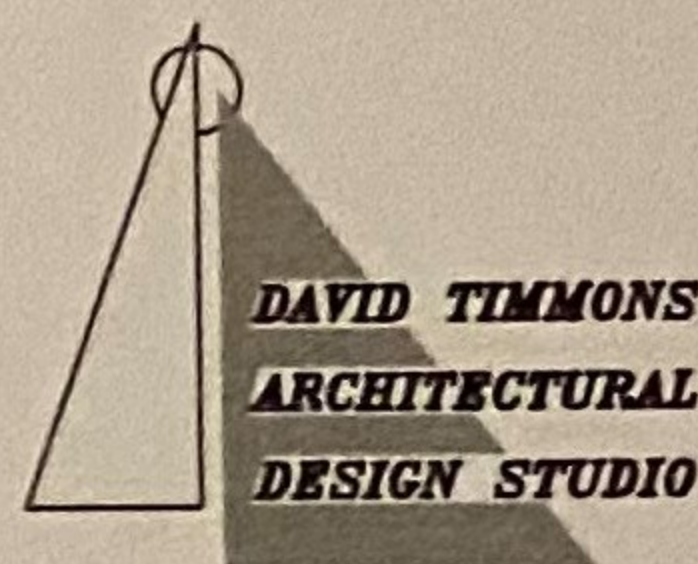
ROOF TILE
EAGLE CAPASTRANO
CONCORD BLEND #3602



WINDOW TRIM
PORTOBELLO PR7842



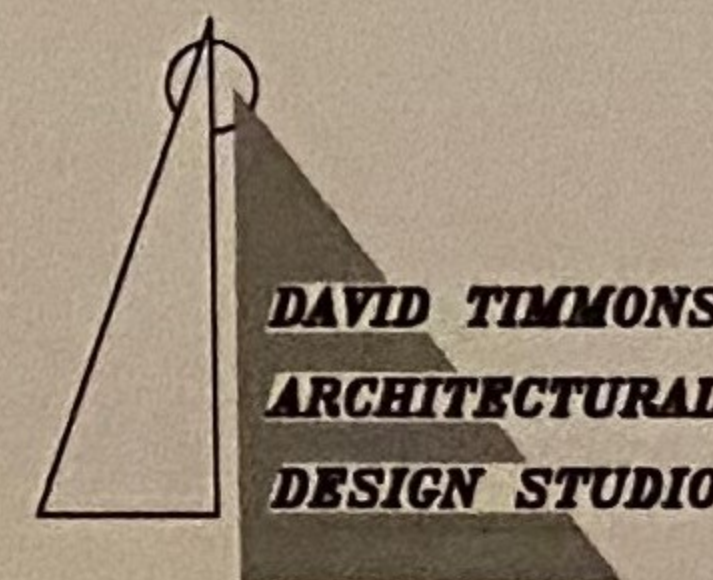
STONE
ANASAZI STONE COMPANY
IRONWOOD LEDGESTONE



2830 East Tracy Lane
Phoenix, Arizona 85032
Phone: (480) 596-3408
email: TimmonsStudio@cox.net
web: timmonsdesignstudio.com
201401 4/06/20

MATERIAL/ COLOR BOARD - 2
CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
36601 N. MULE TRAIN ROAD UNIT 5C
CAREFREE, ARIZONA 85377

TRANQUIL PLACE
LOT 9
APN: 216-23-063
38174 N. TRANQUIL WAY
CAREFREE, AZ. 85377



2830 East Tracy Lane
Phoenix, Arizona 85032
Phone: (480) 596-3408
email: TimmonsStudio@cox.net
web: timmonsdesignstudio.com
201401 4/01/20

MATERIAL/ COLOR BOARD - 1
CUSTOM RESIDENCE FOR
WALT & KATHY KUNKA
36601 N. MULE TRAIN ROAD UNIT 5C
CAREFREE, ARIZONA 85377

TRANQUIL PLACE
LOT 9
APN: 216-23-063
38174 N. TRANQUIL WAY
CAREFREE, AZ. 85377



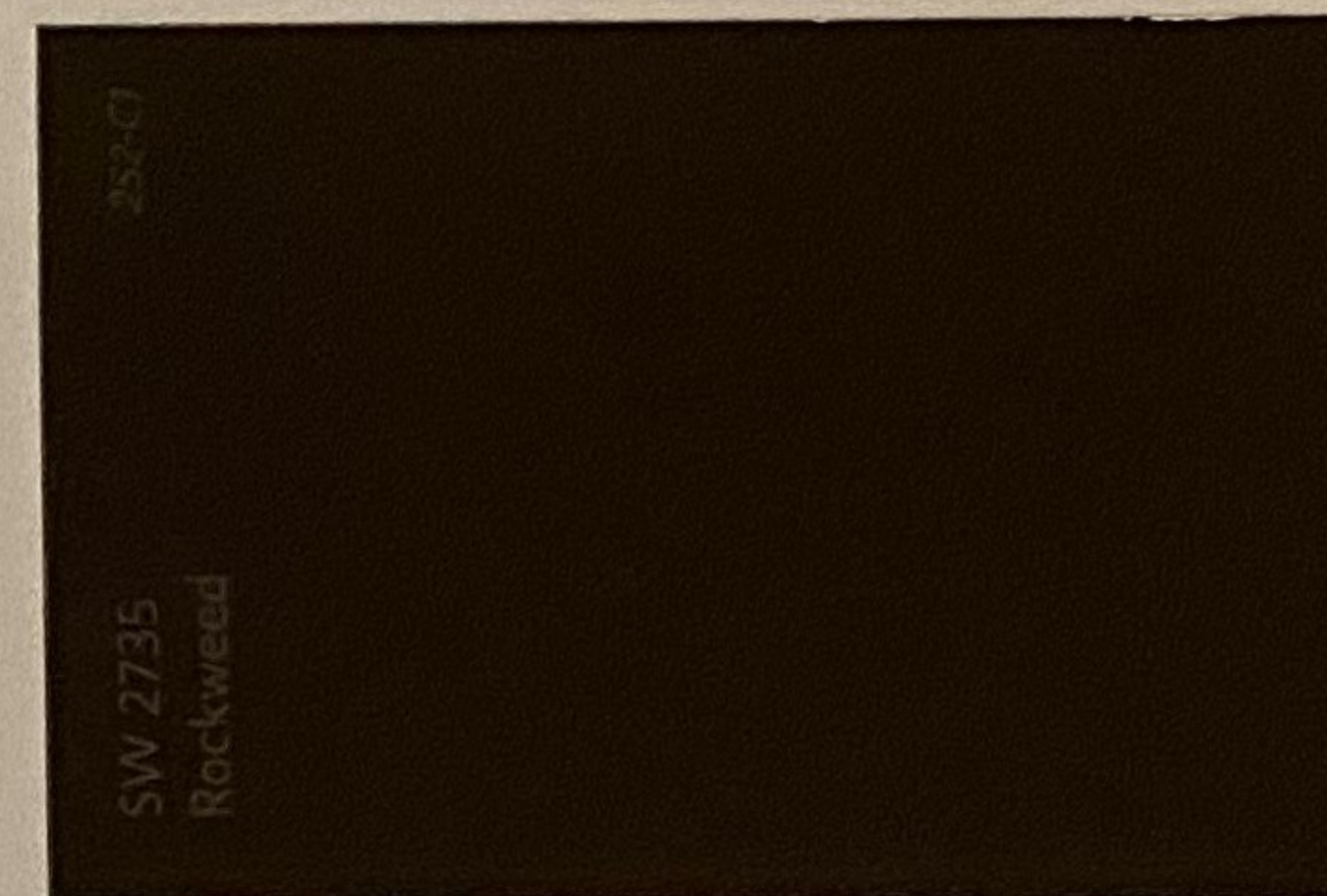
PAINT A
SAND STUCCO FINISH

SHERWIN WILLIAMS
STONE LION
SW 7507
LRV: 38



PAINT B
SAND STUCCO FINISH

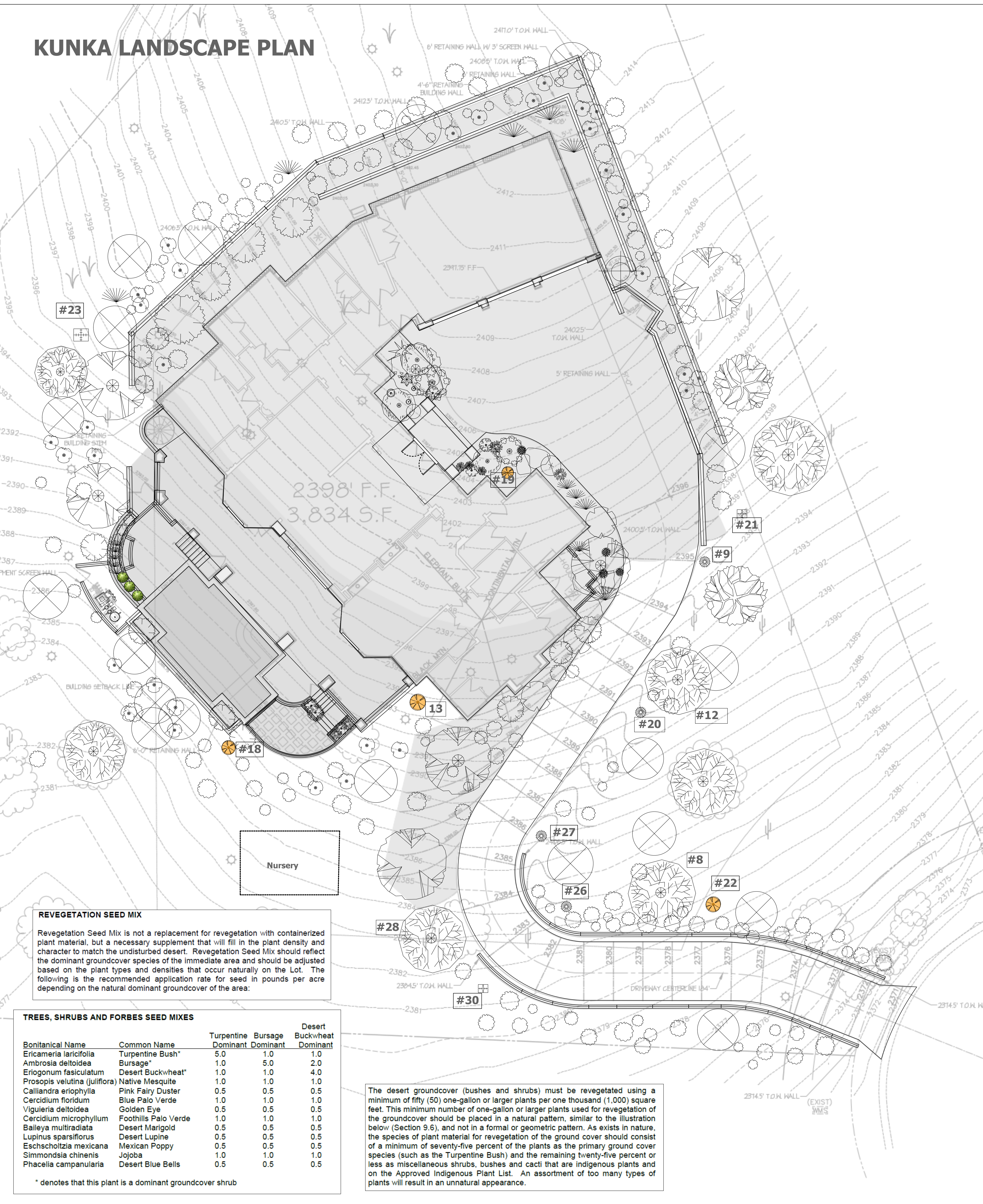
SHERWIN WILLIAMS
FOOTHILLS
SW 7514
LRV: 18



PAINT C
ACCENT COLOR

SHERWIN WILLIAMS
ROCKWEED
SW 2735
LRV: 4

KUNKA LANDSCAPE PLAN



REVEGETATION SEED MIX

Revegetation Seed Mix is not a replacement for revegetation with containerized plant material, but a necessary supplement that will fill in the plant density and character to match the undisturbed desert. Revegetation Seed Mix should reflect the dominant groundcover species of the immediate area and should be adjusted based on the plant types and densities that occur naturally on the Lot. The following is the recommended application rate for seed in pounds per acre depending on the natural dominant groundcover of the area:

TREES, SHRUBS AND FORBES SEED MIXES

Botanical Name	Common Name	Turpentine Dominant	Bursage Dominant	Desert Buckwheat Dominant
<i>Ericameria laricifolia</i>	Turpentine Bush*	5.0	1.0	1.0
<i>Ambrosia deltoidea</i>	Bursage*	1.0	5.0	2.0
<i>Eriogonum fasciculatum</i>	Desert Buckwheat*	1.0	1.0	4.0
<i>Prosopis velutina</i> (juliflora)	Native Mesquite	1.0	1.0	1.0
<i>Calliandra eriophylla</i>	Pink Fairy Duster	0.5	0.5	0.5
<i>Cercidium floridum</i>	Blue Palo Verde	1.0	1.0	1.0
<i>Viguiera deltoidea</i>	Golden Eye	0.5	0.5	0.5
<i>Cercidium microphyllum</i>	Foothills Palo Verde	1.0	1.0	1.0
<i>Baileya multiradiata</i>	Desert Marigold	0.5	0.5	0.5
<i>Lupinus sparsiflorus</i>	Desert Lupine	0.5	0.5	0.5
<i>Eschscholtzia mexicana</i>	Mexican Poppy	0.5	0.5	0.5
<i>Simmondsia chinensis</i>	Jojoba	1.0	1.0	1.0
<i>Phacelia campanularia</i>	Desert Blue Bells	0.5	0.5	0.5

* denotes that this plant is a dominant groundcover shrub

The desert groundcover (bushes and shrubs) must be revegetated using a minimum of fifty (50) one-gallon or larger plants per one thousand (1,000) square feet. This minimum number of one-gallon or larger plants used for revegetation of the groundcover should be placed in a natural pattern, similar to the illustration below (Section 9.6), and not in a formal or geometric pattern. As exists in nature, the species of plant material for revegetation of the ground cover should consist of a minimum of seventy-five percent of the plants as the primary ground cover species (such as the Turpentine Bush) and the remaining twenty-five percent or less as miscellaneous shrubs, bushes and cacti that are indigenous plants and on the Approved Indigenous Plant List. An assortment of too many types of plants will result in an unnatural appearance.

Symbol	Qty	Common Name	Botanical Name	Container
Cacti and Succulents (Cacti)				
	4	Barrel Cactus	<i>Ferocactus Echinide</i>	Salvage
	3	Saguaro	<i>Carnegiea gigantea</i>	Salvage
Cacti and Succulents (Succulents)				
	2	African Milk Tree, Green	<i>Euphorbia Trigona</i>	15 gal
	3	Agave 'Blue Glow'	<i>Agave 'Blue Glow'</i>	15 gal
	1	American Aloe	<i>Agave Americana</i>	15 gal
	4	Artichoke Agave	<i>Agave Parryi Truncata</i>	15 gal
	5	Giant Hesperaloe	<i>Hesperaloe funifera</i>	5 gal
	4	Golden Barrel Cactus	<i>Echinocactus grusonii</i>	12"
	1	Golden Barrel Cactus, Cluster	<i>Echinocactus grusonii</i>	24" box
	4	Lady Slipper	<i>Pedilanthus Macrocarpus</i>	5 gal
	3	Mexican Fence Post, Mature	<i>Pachycereus marginatus</i>	Specimen
	1	Moroccan Mound	<i>Euphorbia Resinifera</i>	24" box
	4	Ocotillo, Mature	<i>Fouquieria splendens</i>	Salvage
	1	Organ Pipe Cactus	<i>Stenocereus thurberi</i>	Specimen
	10	Toothless Desert Spoon	<i>Dasyliiron Longissima</i>	5 gal
Groundcovers (Annuals)				
	2	Dallas Red Lantana	<i>Lantana camara 'Dallas Red'</i>	5 gal
	3	New Gold Lantana	<i>Lantana 'New Gold'</i>	5 gal
Herbaceous (Perennials)				
	98	Bursage	<i>Ambrosia deltoidea</i>	1 gal
Shrubs (Evergreen)				
	5	Baja Fairy Duster, Spring	<i>Calliandra californica</i>	5 gal
	45	Brittle Bush	<i>Encelia Farinosa</i>	5 gal
	3	Chihuahuan Sage	<i>Leucophyllum lavigatum</i>	5 gal
	10	Hopbush	<i>Dodonaea Viscosa</i>	15 gal
	19	Jojoba	<i>Simmondsia chinensis</i>	15 gal
	1	Texas Mountain Laurel	<i>Sophora Secundiflora</i>	36" box
Shrubs (Perennials)				
	31	Turpentine Bush	<i>Ericameria Laricifolia</i>	1 gal
Trees (Deciduous)				
	2	Arizona Velvet Mesquite	<i>Prosopis velutina</i>	36" box
	4	Chilean Mesquite	<i>Prosopis Chilensis</i>	48" box
	4	Desert Museum Palo Verde	<i>Cercidium 'Desert Museum'</i>	36" box
Trees (Evergreen)				
	2	Ironwood	<i>Olneya tesota</i>	48" box
	4	Lemon	<i>Citrus limon</i>	36" box
	1	Blue Yucca	<i>Yucca Rigida</i>	36" box

CITY of CAREFREE REQUIREMENTS

- A pre-grading inspection is required after the permit is issued and before any grading begins. All protected plants are to be moved into the designated areas, the construction fence is to be in place and the Building Department is to be called for an inspection.
- All plants protected by the Town of Carefree, including small cacti, shall be salvaged and relocated to designated places.
- Any protected plants remaining in place within the disturbed area shall be cordoned off and protected during construction.
- Restore existing grade at new septic system and provide for revegetation per the landscape plan.
- All saguaros to be salvaged shall be transplanted according to the Saguaro Salvage and Transplanting Recommended by the Town of Carefree methodology.
- All exterior lighting will be shielded to comply with Section 9.12 of the Carefree Zoning Ordinance.
- All landscaping shall be completed prior to final inspection and issuance of

L.01

PROJECT NO. _____ DRAWN BY GEF

SCALE: 1/8"=1'

DATE 9-3-2020 SHEET: 1

REVISIONS:

CLIENT: WALT AND KATHY KUNKA

PROJECT: TRANQUIL PLACE LOT 9
 APN: 216-23-063
 38147 N. TRANQUIL WAY
 CAREFREE AZ.

Earth Care For All That's Green Inc.
 P.O. Box 4500
 Cave Creek, AZ 85327
 480-468-2915
 WWW.earthcareaz.com